

**AGENDA - FINAL**  
**WAUKESHA COUNTY PARK AND PLANNING COMMISSION – Regular Meeting**  
**Thursday, May 15, 2025 1:00 P.M. Room AC 255/259**  
**Administration Center, 515 W. Moreland Blvd., Waukesha, WI 53188**

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**CALL TO ORDER**  
**CORRESPONDENCE**  
**MEETING APPROVAL**  
**MINUTES**  
**PUBLIC COMMENT**

Approval of the February 20, 2025, Minutes

**CONDITIONAL USE AND PLAN OF OPERATION**

- **CU127 (Melissa Weishaar Gina Gagliano) Town of Eagle, Section 28**  
Part of the NW ¼ of Section 28, T5N, R17E, Town of Eagle. More specifically, the property is located at W379 S9674 County Road S.  
Request: Conditional Use approval to amend the existing Conditional Use for the Kettle Moraine Ranch facility by transferring ownership along with other operational changes.
- **SP276 (Melissa Weishaar Gina Gagliano) Town of Eagle, Section 28**  
Part of the NW ¼ of Section 28, T5N, R17E, Town of Eagle. More specifically, the property is located at W379 S9674 County Road S.  
Request: Site Plan/Plan of Operation approval to amend the existing Plan of Operation for the Kettle Moraine Ranch facility by transferring ownership along with other operational changes.
- **CU125 (Cameron and Dawn Knuth) Town of Merton, Section 27**  
Part of the SE ¼ of Section 27, T8N, R18E, Town of Merton. More specifically, the property is located at W303 N5965 Settlers Lane.  
Request: Conditional Use approval for the construction of an in-law unit addition to the principal structure and land altering activity to expose the addition's basement for an attached garage.
- **SP273 (Cameron and Dawn Knuth) Town of Merton, Section 27**  
Part of the SE ¼ of Section 27, T8N, R18E, Town of Merton. More specifically, the property is located at W303 N5965 Settlers Lane.  
Request: Site Plan/Plan of Operation approval for the construction of an in-law unit addition to the principal structure and land altering activity to expose the addition's basement for an attached garage.
- **Appointment of Nominating Committee for Officers**

**ADJOURNMENT**

*Robert Peregrine*  
\_\_\_\_\_  
Robert Peregrine, Chairperson

**Park and Planning Commission**  
Thursday, May 15, 2025

*(The Staff Reports and Recommendations for the issues listed above are available upon request. For questions regarding this agenda, please call (262) 896-8300).*



**WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE**  
**STAFF REPORT AND RECOMMENDATION**  
**CONDITIONAL USE AND SITE PLAN/PLAN OF OPERATION**

**DATE:** May 15, 2025

**FILE NO:** CU127 and SP276

**OWNER:** Gina R. Gagliano  
W379 S9674 County Road S  
Eagle, WI 53119-1501

**APPLICANT:** Melissa Weishaar, Wise Farm Productions LLC

**TAX KEY NO.:** EGLT 1838.997 and EGLT1838.998

**LOCATION:**

The subject properties are located in part of the NW ¼ of Section 28, Town 5 North, Range 17 East, Town of Eagle, Waukesha County. More specifically, the property is located at the County Road S (C.T.H. S) address above. The use is on two tax parcels, containing approximately 32 acres, combined.

**ZONING CLASSIFICATION:**

A-2 Rural Home, HG High Groundwater, C-1 Conservancy Overlay and EC Environmental Corridor Overlay Districts (County) and RR Rural Residential District and UC Upland Conservancy District (Town)

**EXISTING USE:**

Kettle Moraine Ranch, which offers horseback riding, horse boarding, small animal viewing, as well as venue for weddings, private and public events and operation of a saloon.

**PROPOSED USE:**

Venue for weddings, music events, private and public events, including craft fairs, farmers markets, special event camping and rental spaces. Equestrian and animal related activities will discontinue.

**PUBLIC HEARING DATE:** May 5, 2025

**PUBLIC REACTION:** One resident spoke who was in favor of the proposal but brought attention to traffic and safety concerns along C.T.H. S. noting the 55-mph speed limit, dangerous curves, horseback riding in the Kettle Moraine State Forest and hunters parking along the highway. Staff noted that she would discuss the issues with the Waukesha County Department of Public Works. The owner noted that no parking along C.T.H. S occurs during events as the onsite parking is plentiful.

**TOWN PLAN COMMISSION & TOWN BOARD ACTION:**

On May 5, 2025, a joint committee of the Town of Eagle Plan Commission and Town Board voted to recommend unanimous approval of the request, subject to several conditions incorporated below.

**COMPREHENSIVE DEVELOPMENT PLAN (CDP) AND TOWN LAND USE PLAN:**

The subject property is designated as Recreational and Primary Environmental Corridor in the Waukesha County Comprehensive Development Plan and Town of Eagle Land Use Plan. The proposal complies with both plans.

**STAFF ANALYSIS:**

The Kettle Moraine Ranch is located east of C.T.H. S, surrounded by the Kettle Moraine State Forest, and is comprised of two tax parcels: an 11.7 parcel adjacent to the road that contains all improvements and a 20-acre agricultural parcel to the northeast. Old World Wisconsin abuts the property to the east. Directly north of the subject property are DNR maintenance buildings. The closest residential property is approximately .3 miles north. Other residential properties to the north, south and east are between .5-.8 miles from the main event space on the subject property.



The Ranch currently operates under a joint Town and County Conditional Use and Site Plan/Plan of Operation as a facility that offers equestrian-related recreational activities and special events. There are numerous structures on the site, the majority of which are part of the ranch's old western town layout. The specific uses have evolved over the years including a saloon, bunkhouse, western store, auction barn, riding arena, bathroom structure and more. A site plan showing the existing improvements and uses is attached as Exhibit A. The parcel abutting C.T.H. S is primarily within the Town's zoning jurisdiction and the vacant parcel to the northeast is entirely within the County's zoning jurisdiction.

The original Conditional Use Permit was sought in 1973 by Al Gagliano, with many subsequent amendments. The Conditional Use authorized a horse ranch with a riding arena (later an auction barn), retail of western- and equestrian-themed items, outdoor camping, indoor overnight lodging, primarily utilized by scout troops and schools, in the "jail house" and what is now the Saloon Bar, hayrides, a petting zoo, mini golf, rodeos and more. The Conditional Use also authorized special events, weddings and private parties. Mr. Gagliano's daughter has been operating the ranch for the past several years and is looking to sell the property to the petitioner. The petitioner, Melissa Weishaar of Wise Farm Productions, LLC, has been hosting events at the Kettle Moraine Ranch for the last three years and is familiar with the site and operation. A condition of the existing Conditional Use states that a change in ownership requires a Conditional Use amendment.

The petitioner is looking to run a similar operation to what has existed in more recent years with a focus on being an event facility. They will continue to include private offerings such as weddings, meetings, classes, parties and short-term lodging for special events. Lodging currently includes camping but the petitioner has indicated a desire for primitive bunkhouses in the future. Public events will include music events/festivals, craft fairs, farmers markets, retail space during special events and continued camping for weddings and special events. All equestrian and animal related activities currently offered by the ranch will discontinue. The petitioner is proposing to renovate and live in the existing single-family residence on the property.

A brief overview of the buildings and their proposed uses are as follows. Specific improvements to each building, including new roofs, updated heating systems and updated plumbing are included in the petitioners' Property Use Plan, attached as Exhibit B. Note that many of the improvements proposed, specifically related to plumbing, will need County Environmental Health Division approval and may need to be phased differently than what is proposed by the petitioner in Exhibit B.

- Buckhorn Barn will continue to operate as the main event space, primarily for weddings and other private parties. Pit toilets and porta-potties are used as sanitary facilities with plans to install plumbing in 2027.
- The Saloon Bar will continue to operate as it currently does, with limited hours Thursday – Sunday and during special events. The bar may have live, amplified music.
- The 1909 red barn will continue to be used as storage within the lower level and the upper level will serve as office space and private staff lounge. The future use may return to private events.
- The livery stable (former Jail House) will be used for events such as makers' markets, where individual vendors can set up their tables in the existing horse stalls.
- The Hotel contains a one-bedroom apartment in the upper level. This apartment has housed employees or guests who have rented the property for an event. It is anticipated that an onsite facilities manager will live here or it will be used during special events. The lower level contains public restrooms for patrons.
- No changes to the 1970s chapel are proposed.
- The lattice walls will be removed from the Water Wheel Terrace (formerly an in-ground swimming pool) and will serve as a covered pavilion for guests.
- The repair/workshop will continue to operate as a repair shop for property and building maintenance needs.
- The small stable near the "pony/goat" area will be repurposed. Proposed use unknown. The animals and fencing will be removed.
- The horse pastures on the north portion of the site will be returned to open space (grass or prairie).
- The office with the western front will become a small on-site retail store for Jennings Holler merchandise, local artistry and prepackaged snacks.



- Camping area on the northeast parcel to remain with primitive campsites. This area is also used for overflow parking.
- Outdoor wedding site on vacant NE parcel.

The petitioner is requesting some expansion of uses, primarily to take place on the vacant parcel to the northeast or in the former pastures. These include:

- Expansion of campsites in the north portion of the site.
- Creation of walking trail through the Primary Environmental Corridor. Trails to be formed from existing horse trails. Work includes removing brush and fallen or dead trees. No structures within the Primary Environmental Corridor are proposed.
- Possible creation of a second outdoor wedding site within the Primary Environmental Corridor or in the former pasture area.
- Construct bunk house structures in the former pasture area that can be rented for overnight stays during special events. No electricity or plumbing proposed. The bunk houses will be constructed from repurposed materials and structures on the property. No specific plan has been provided.

Special Events: A list of events scheduled for 2025 is included on Page 3 of Exhibit B. These events are a mix of public and private events and occur primarily Thursdays – Sundays, with one private event held on a Monday night. The 2008 Conditional Use outlined specific conditions relative to holding special events. These conditions regulate the days special events are allowed, hours of operation and special event notification to the Town Clerk for events anticipating more than 500 people.

Signage. No signage has been submitted for review at this time. Any proposed signage must be reviewed and a permit issued by the Building Inspector. The petitioner verbally indicated that temporary directional and parking signage may be used during special events but removed after the event.

Employees. To start, the operation will require one full-time employee and approximately six part-time employees. Additional employees may be required for property and facility management, operations, marketing and financial management. Bar staff are hired separately to operate the Saloon Bar.

Hours of Operation: The property will be open daily by appointment, for weddings and private events and on designated dates/times for public use. Wedding receptions end no later than 12:00 AM. Outdoor events, including music, will end no later than 11 PM. The property will operate April – November, with plans to eventually operate year-round.

Outdoor storage. No outdoor storage is proposed.

Parking. Prior approvals and site plans indicate there is space for 250 vehicles or 500 motorcycles on the southwest lawn and additional parking (250 motorcycles) on the northwest lawn. The latter has also been used for vehicles. Overflow parking will continue to be in the field to the north of the Buckhorn Barn.

Access. The existing access from C.T.H. S is not proposed to change. The Waukesha County Department of Public Works stated that the use does not trigger road improvements to the existing access.

Environmental Health Division (Sanitary): A Preliminary Site Evaluation is required due to change in ownership of the property since it is commercial in nature.

Environmental Health Division (Camping)

Camping has been permitted since 1973 as part of the Town and County Conditional Use approvals. However, no license has ever been obtained by the Environmental Health Division, which issues camping licenses on behalf of the State of Wisconsin.



**STAFF RECOMMENDATION:**

The Planning and Zoning Division staff recommends **conditional approval** of the request in accordance with the Town of Eagle's recommendations as modified below (modifications or additions to the Town's conditions are in **bold** (except headings) and deletions are identified in a strikethrough format):

1. **Use.** The establishment of a facility that offers private and public events generally within the Buckhorn Barn, Saloon, or occasionally outside, that includes but is not limited to: weddings, private parties, general community fundraisers, craft fairs, farmers markets, and festivals on a limited basis, outdoor camping and cooking, a chapel, Saloon (bar) to be operated on a limited basis.
2. **Schedule of Events.** A list of scheduled events for the year shall be provided to the Town of Eagle Clerk or Planner no later than April 1<sup>st</sup> of each calendar year. Each time a new event is added, an updated list shall be provided to the Town Planner or Town Clerk at least ten (10) days prior to said event. The schedule of events shall include the date and type of event, a description of the event, the location of the event and the anticipated number of guests.
3. **Hours of Operation.** All events held on Sundays through Thursdays shall end by 10:00 p.m. and events shall end by 12:00 a.m. on Fridays and Saturdays. Permitted start time begins at 9:00 a.m. daily.
4. **Parking.** Parking shall be contained on the front lawn adjacent to C.T.H. S and in the field on the west side of the agricultural (vacant) parcel. Absolutely no parking along C.T.H. S shall be permitted, including during special events.
5. **Retail.** Retail is limited to the western-front store and is limited to merchandise of the property, local artistry and pre-packaged snacks and beverages. Craft and farmers markets may also occur during special events.
6. **Sale and Consumption of Alcohol.** On-site sale and consumption of alcoholic beverages is permitted only within the Buckhorn Barn and Saloon and Water Wheel Terrace. Sale and consumption of alcoholic beverages elsewhere on the grounds shall be limited to special events only, in segregated fenced-off areas, and as provided on an approved site plan. Sale and consumption of alcoholic beverages during special events, outside of private events and weddings, shall require the presence of security personnel or appropriate law enforcement at all times. The applicant shall obtain a liquor license with property approval from the Town Board and keep said liquor license current. All serving of alcoholic beverages shall cease at least one-half (1/2) hour prior to a special event ending.
7. **Special Events.** The following conditions apply to Special Events where attendance is more than 500 people but fewer than 1,000 people.
  - a. A Site Plan/Plan of Operation shall be submitted to the Town of Eagle, and if applicable, Waukesha County Planning and Zoning Division at least forty-five (45) days prior to the event taking place. A site plan showing, at a minimum, dumpsters, outdoor lighting, parking, event spaces, temporary restrooms shall be provided with the application, along with a description of music (live amplified vs. acoustic, outdoor vs. indoor, etc).
  - b. Signage for event parking or for the event shall not be displayed more than 4 hours prior to said event or no more than 2 hours after said event has ended.
  - c. Tents may be erected for events, but said tents shall be removed within twenty-four (24) hours after said event is terminated.
  - d. Outdoor lighting is limited to security lighting and shall be turned off by 12:30 am
  - e. Adequate waste facilities (dumpers and/or trash cans) shall be provided around the location of the special event.
  - f. Live or amplified music shall be performed inside and shall cease by 12:00 am and shall not exceed 75 decibels from the property lines of the improved parcel abutting C.T.H. S.



- g. Outdoor music shall require special consideration of the Town Planning and Zoning Commission based on the type of music being requested, hours and the event to ensure no negative impacts of sound to the surrounding area.
  - h. All appropriate liquor licenses and caterers' license will be required prior to each event taking place, where applicable.
- 8. **Large Special Events.** In addition to the above special event conditions, the following conditions apply to special events where attendance is expected to be more 1,000 people.
  - a. The operator must provide written documentation to the Town Planner verifying that the event operator has general liability insurance coverage of at least \$1,000,000 per occurrence for events larger than 1,000 people. The Town of Eagle must be named as the certificate holder.
  - b. The Waukesha County Sheriff's Department must be provided with a description and schedule for the event no later than forty-five (45) days prior to the event. Any conditions imposed by the Waukesha County Sheriff's Department shall be an integral part of the Site Plan/Plan of Operation approval.
- 9. **Saloon (Bar).** Outside of special events, Saloon hours are limited to Thursdays – Sundays with live, amplified music to end by 11:00 pm. The Saloon may also operate during Special Events. If the event occurs on a Monday – Wednesday, live amplified indoor music shall cease by 10:00 pm and outdoor patio music shall cease by 9:00 pm.
- 10. **Camping.** Per the Conditional Use Permit granted by Waukesha County on May 17, 1973, outdoor camping shall be limited to no more than 100 people and shall only occur during special events. All trailers, motor homes, and campers shall be limited to a designated space shown on a site plan. A Special Event Campground License shall be obtained from the Waukesha County Environmental Health Division prior to camping taking place during an event.
- 11. Subject to the petitioner notifying the Waukesha County Environmental Health Division of any on-site food preparation plans. Any conditions of the Environmental Health Division shall be an integral part of the Site Plan/Plan of Operation approval.
- 12. Subject to the petitioner installing a handwash sink in Buckhorn Barn for catering staff by August 1, 2025. If unable to be hard-plumbed or cost prohibitive, a portable handwash sink with a booster heater to provide hot water may be used. Documentation shall be submitted by the petitioner that the sink has been installed.
- 13. Subject to the petitioner obtaining a Pre-packaged Food License from the Waukesha County Environmental Health Division prior to selling any pre-packaged food within the Saloon or western front building (retail). Documentation that the license has been obtained shall be provided to the Town Planner by August 1, 2025.
- 14. Subject to the petitioner providing documentation that the Waukesha County Environmental Health Division has certified that the existing septic system is adequate for the proposed use, or a Sanitary Permit for a new waste disposal system must be issued and a copy furnished to the Planning and Zoning Division staff.
- 15. The construction of bunk houses requires a Conditional Use amendment from Waukesha County Planning and Zoning Division and the Town of Eagle. A site plan showing the location of the bunk houses and building plans shall be provided. If state approved plans are required, a copy of said plans shall be submitted to the Town Building Inspector for review and approval prior to the issuance of a Building Permit, or Zoning Permit, if applicable. Waukesha County Environmental Health Division approval is also required.
- 16. **Signage.** Subject to any proposed sign being reviewed and approved by the Building Inspector for compliance with the Town's Sign Ordinance and a Sign Permit issued, prior to installation.



17. **Fire Inspection.** Subject to the petitioner providing documentation to the Town Planner that the local Fire Inspector has inspected the buildings for compliance with all local fire codes, prior to the release of the Conditional Use Permit.
18. **Building Inspection.** Subject to the petitioner providing documentation to the Town Planner that the Town Building Inspector has completed a thorough inspection of the buildings for compliance with all building codes, prior to the release of the Conditional Use Permit.
19. **Property Maintenance.** The applicant/owner will keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. Outside storage of equipment/materials shall be permitted only in accordance with an approved Site Plan.
20. **Transferable:** The Site Plan/Plan of Operation and Conditional Use approval is granted to the property owner and the operator and shall not be transferred to a subsequent owner of the subject property or a different operator, except upon approval of the Town Board via a new Conditional Use application.
21. All activities on the subject property herein may not in any way become a nuisance by reason of appearance, noise, dust, smoke, illumination, odor or any other similar factor.
22. An up-to-date Site Plan/Plan of Operation must be on file, at all times, with the Town of Eagle and Waukesha County.
23. The Town and County reserve the right to review any condition imposed as part of the Conditional Use and/or Site Plan/Plan of Operation if said use becomes a problem in the area. The Town Plan Commission may modify, change, delete, add, etc. any conditions which they feel may be reasonable to allow this use and ensure it does not become detrimental to the surrounding area.
24. Subject to the applicant allowing the premises to be available for inspection by the Town of Eagle officials and Waukesha County Department of Parks and Land Use staff at any reasonable time and upon reasonable notice.
25. **Conditional Use Order.** A Conditional Use Order documenting the decision made by the Town Board after recommendation from the Plan Commission and in accordance with Section 500.228 of the Town Municipal Code shall be signed and notarized by the property owner and shall be recorded in the Waukesha County Register of Deeds by the property owner within six months from the date of this decision. If the conditional use order is not recorded within the specified time frame, the Conditional Use is considered null and void unless a time extension is granted by the Town Board with just cause.
26. Subject to the Town of Eagle's standard Conditional Use and Site Plan/Plan of Operation conditions which are as follows:
  - A. Any use not specifically listed as permitted shall be considered to be prohibited except as may be otherwise specifically provided herein. In case of a question as to the classification of use, the question shall be submitted to the Town Plan Commission for determination.
  - B. No use is hereby authorized unless the use is conducted in a lawful, orderly, and peaceful manner. Nothing in this order shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order, or rule of either the municipal governing body, the County of Waukesha, the State of Wisconsin, the United States of America, or other duly constituted authority, except only to the extent that it authorizes the use of the subject property above described in any specific respects described herein. This order shall not be deemed to constitute a zoning or building permit, nor shall this order constitute any other license or permit required by Town ordinance or other law.



- C. This conditional use hereby authorized shall be confined to the subject property described, without extension or expansion other than as noted herein, and shall not vary from the purposes herein mentioned unless expressly authorized in writing by the Plan Commission as being in compliance with all pertinent ordinances.
- D. All buildings and grounds shall be maintained in a neat, attractive and orderly way.
- E. The property shall comply with all rules and regulations of the Town and the local fire department, including submission to routine inspections by the town staff and fire department staff.
- F. Prior to the execution of the conditional use permit, the applicant must obtain any and all approvals that must be obtained before the use may be established or the commencement of any land disturbing activity related to the approved conditional use.
- G. Should the permitted conditional use be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the petitioner be delinquent in payment of any monies due and owing to the town, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area or for similar cause based upon consideration of public health, safety or welfare, the conditional use may be terminated by action of the plan commission pursuant to the enforcement provisions of this Conditional Use Order, and all applicable ordinances.
- H. Any substantial change, addition, modification, alteration and/or amendment of any aspect of this conditional use, including but not limited to an addition, modification, alteration, and/or amendment to the use, premises (including but not limited to any change to the boundary limits of the subject property), structures, lands, or owners, other than as specifically authorized herein, shall require a new permit and all procedures in place at the time must be followed.
- I. Unless this Conditional Use Permit expressly states otherwise, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the plan amendment to be minor and consistent with the Conditional Use Permit. Any change in any plan that the Town Plan Commission feel, in their sole discretion, to be substantial shall require a new permit, and all procedures in place at the time must be followed.
- J. As a condition precedent to the issuance of the conditional use permit, the owner of the subject property shall approve the issuance of this conditional use permit upon the terms and conditions described here in writing, and the petitioner is required to accept the terms and conditions of the same in its entirety in writing.
- K. Professional Fees. The petitioner shall, on demand, reimburse the Town of Eagle for all costs and expenses of any type that the Town incurs in connection with this conditional use, including the cost of professional services incurred by the Town (including engineering, legal, planning and other consulting fees) for the review and preparation of required documents or attendance at meetings or other related professional services for this application, as well as to enforce the conditions in this conditional approval due to a violation of these conditions.
- L. Payment of Charges. Any unpaid bills owed to the Town of Eagle by the subject property owner or his or her tenants, operators or occupants, or agents, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees owed to the Town; shall be placed upon the tax roll for the Subject Property if not



paid within 30 days of the billing by the Town, pursuant to Section 66.0627, Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional approval that is subject to all remedies available to the Town, including possible cause for termination of the conditional approval.

- M. The Petitioner is obligated to file with the Municipal Clerk a current mailing address and a current phone number at which the Petitioner can be reached, which must be continually updated by the Petitioner if such contact information should change, for the duration of this Conditional Use Permit. If the Petitioner fails to maintain such current contact information, the Petitioner thereby automatically waives notice of any proceedings that may be commenced under this conditional permit, including proceedings to terminate this Conditional Use Permit.
- N. Should any paragraph or phrase of this Conditional Use Permit be determined by a Court to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use and the remainder shall continue in full force and effect.
- O. If any aspect of this Conditional Use Permit or any aspect of any plan contemplated and approved under this conditional use is in conflict with any other aspect of the conditional use or any aspect of any plan of the conditional use, the more restrictive provision shall be controlling as determined by the Town Plan Commission.
- P. If the property owner/operator is a business entity, such as a limited liability company or a corporation, such entity shall for the life of the conditional use continuously maintain a registered office in the state of Wisconsin as evidenced by registration with the Wisconsin Department of Financial Institutions.
- Q. The property owner shall not change the size and/or shape of the subject property by any means without the approval of the town board. If the town board determines that a proposed change is substantial regarding the overall size of the parcel and/or configuration, such change shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.
- R. This approval is given under the town's zoning code and is not to be, in any way, interpreted to abrogate any private rights other property owners may have pursuant to deed restrictions or restrictive covenants.
- S. If this conditional use terminates for any reason, the property owner is obligated to remove any improvements specifically related to the conditional use and which cannot be utilized for an approved use (i.e. A use permitted by right or a different conditional use approval).
- T. The property owner/operator agrees to allow on-site inspections, upon request, as deemed necessary by the town to ensure compliance with the terms and conditions of approval.
- U. The property owner/operator agrees to promptly reply to any written request related to a self-certification process as may be established with the town.



The transfer of the Conditional use and Site Plan/Plan of Operation to Wise Farm Productions, LLC, allows this unique property to continue operating as an event facility as it has been since at least 2008. The removal of the horse-related activities reduces the burden on the property owner of additional property maintenance, manure management and care for the animals. The property has been kept in good condition and the buildings will be repaired and updated. The Conditional Use will maintain most of the conditions that were previously approved by the Town and County. The use does not interfere with the surrounding properties, which are all State-owned and not developed. There are few residential homes nearby, however as conditioned, it is not anticipated that they will be negatively impacted.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Rebekah Leto". The signature is fluid and cursive, with the first name "Rebekah" and last name "Leto" clearly distinguishable.

Rebekah Leto  
Senior Planner

Exhibits:

Exhibit A –Site Plan

Exhibit B -Property Use Plan by petitioner

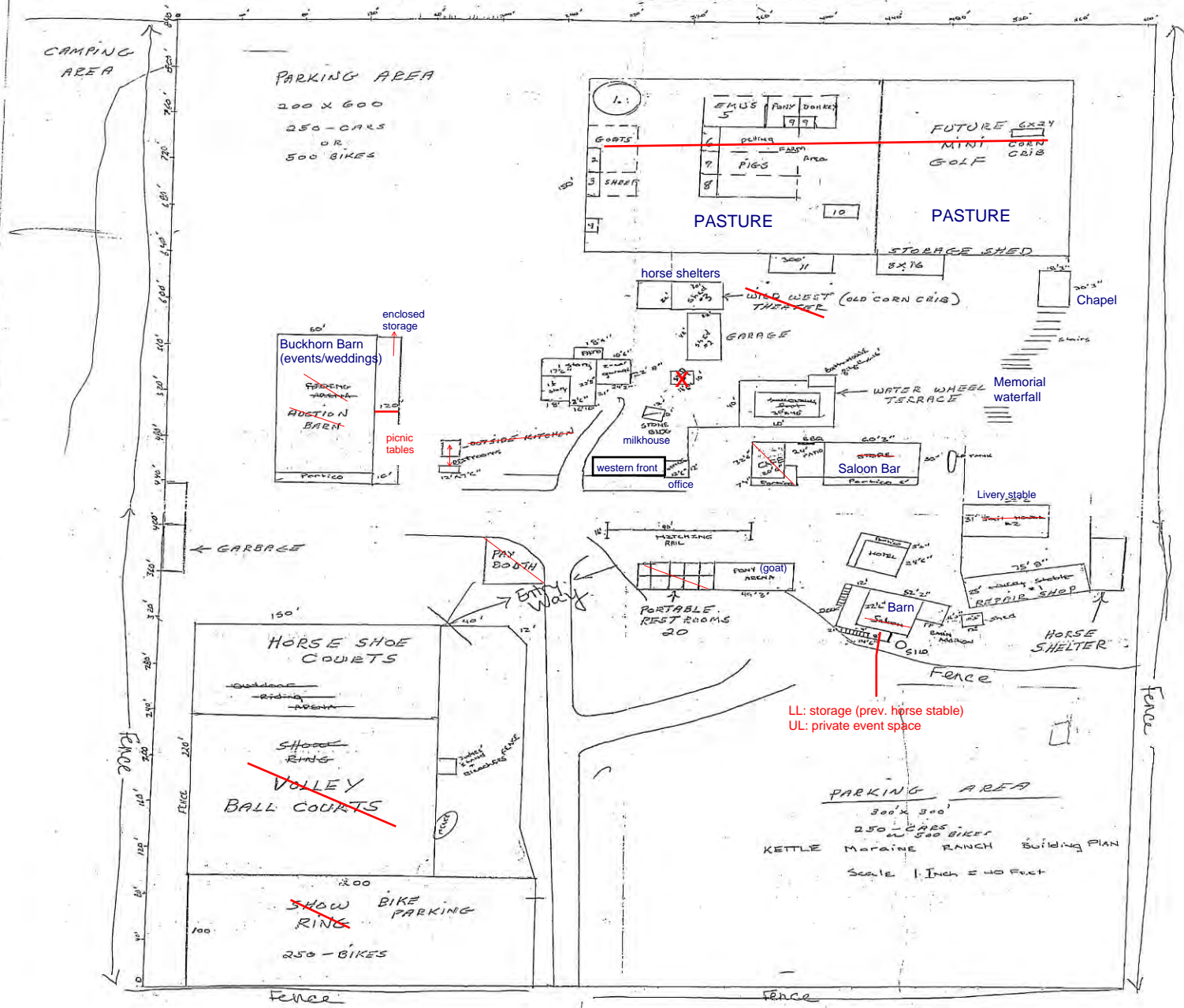


# EXHIBIT A

PREVIOUSLY APPROVED SITE  
PLAN  
modified to show current uses

RECEIVED  
JUL 2 - 2006  
PAGE 2 OF 2  
SEAL

1. PERCOK - 12' FOOT CORN CRIB
2. GOATS - 4'X8' SHELTER 12X24 FENCED IN AREA
3. SHEEP 4'X8' SHELTER 12X12 FENCED IN AREA
4. DOG HOUSE 3'X6'
5. PIG PENS 3-3'X6' SHELTERS - 3-8'X16 RUNWAYS
6. FEED SHED - 8'X12 SHED
7. PONY SHED - 8'X12 RUNWAYS 24'X16
8. DONKEYS 8'X8 RUNWAYS 24'X16
9. EMUS 4'X8 SHED RUNWAY 3'X16
10. CHICKENS 12'X12 OVER HEAD
11. TURKEYS 12'X12 OVER HEAD
- 12.





# Wise Farm Productions

## Property Use Plan: Jennings Holler at the Kettle Moraine Ranch

(Kettle Moraine Ranch)

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### **1 Executive summary**

Wise Farm Productions (WFP), LLC was established in 2018 with a focus on music event planning and execution. WFP President, Melissa Weishaar, has an extensive background (18 years) in Strategy, Planning and Operations, serving as a Director in the Strategy, Planning and Administration function of a global pharmaceutical company. Her experience includes budget planning, strategic planning of annual and midterm planning, communications, business continuity planning, resource management, procedure creation and maintenance and management of people from varying backgrounds and ethnicities. Future vision for this property includes renaming the site to Jennings Holler, a way to rebrand the business and create a new outward image of the property for current and future guests. Melissa is an ideal person to lead this business venture along with a team of individuals with specialized skills that will be necessary to grow Jennings Holler to its full potential. Her experience in event planning and conducting provides a competitive advantage in the event planning sphere.

#### **1.1 Vision Statement:**

To be a premier destination for unforgettable public and private gatherings, and unique experiences, fostering a vibrant community and celebrating the beauty of the arts, community and natural landscape of Jennings Holler.

#### **1.2 Mission Statement:**

Wise Farm Productions, LLC is dedicated to creating exceptional and memorable events by leveraging our extensive expertise in strategy, planning, and operations. We aim to provide top-notch services for weddings, music events, and other public or private event hosting. Additional offerings will include community-based events like craft fairs, farmers markets, special event camping, and rental spaces, all while enhancing the natural charm of Jennings Holler and the landscape that the Southern Kettle Moraine forest have to offer. Our commitment to excellence, community engagement, and continuous improvement drives us to deliver unparalleled experiences for our clients and guests.



### **1.3 Company description**

Company: Wise Farm Productions, LLC

Location: Jennings Holler (formerly, Kettle Moraine Ranch)

#### Private Offerings:

- Weddings
- Other Private Events (parties, meetings, classes, etc.)
- Short term lodging for special events.

#### Public Offerings:

- Music events/festivals
- Craft fairs and/or farmers markets
- Retail Space: (rental of retail spaces to artists and other businesses during special events).
- Saloon (operation of Saloon on premise to be open to public Thursday through Sunday and during special events). Saloon may be closed during weddings.
- Camping for weddings and special events

Due to the location of the Ranch, limited competitors in the area, proximity to Riding Trails, biking trails, Ice Age Trail and other state forest offerings, the Ranch is an ideal location to establish a spot for public and private events.

### **1.4 Company Cornerstones**

Cornerstones of Jennings Holler include:

- Wedding Venue
- Private Event Venue
- Emphasizing arts and culture through special events, craft fairs, markets and music.
- Camping for special events

To further incentivize booking at Jennings Holler, an aggressive marketing push will ensue to encourage more public uses, to share information with customers on what is new with the facilities and offering discounts on new bookings. Our goal is to become a premiere location for events, become a valuable member of the town of Eagle and to serve the local community.



Many events are booked for 2025 and beyond and include:

2025 -2026 Bookings:

Date	Event Title	Event Type	Short Description
April 11-12	Sauna Synergy	Public	Site rental for sauna event including workshops, music and camping during event hours.
May 3, 2025	Documentary Screening	Public	Free event to public with documentary screening and live music in the Buckhorn Barn
May 9-11, 2025	Rummage Event	Public	Mother's Day weekend rummage and craft vendor event
May 17, 2025	Party	Private	Held in the Saloon
May 23, 2025	Wedding	Private	
May 29 - 31, 2025	Feed Your Head Fest	Public	Sponsored by WFP. Music and camping festival. Will be third occurrence of festival at the Ranch.
June 7, 2025	Wedding	Private	
June 14, 2025	Party	Private	Held in Saloon
June 20, 2025	Party	Private	Held in Saloon
June 23, 2025	Mukwonago Trap Club Banquet	Private	Banquet and Awards show. Space donated to organization.
June 28, 2025	Wedding	Private	To be held in the Buckhorn Barn
July 19, 2025	Mexican Horse Blessing	Private	
July 26, 2025	Wedding	Private	To be held in the Buckhorn Barn
August 15 - 16, 2025	Biker Organization Festival	Public	Camping, music
September 6, 2025	Wedding	Private	
September 20, 2025	Wedding	Private	
September 27, 2025	Wedding	Private	
October 2 - 4, 2025	Wise Fest	Public	Sponsored by WFP. Music and camping festival. Will be fourth occurrence of festival at the Ranch.
October 18, 2025	Wedding	Private	To be held in the Buckhorn Barn
November 1, 2025	Holiday Craft Fair	Public	Multiple craft vendors and food vendors onsite for a two-day craft fair with music.



<b>December 6 - 7, 2025</b>	Bluegrass German Christmas Market	Public	Sponsored by WFP. Music, art vendors, food offerings. Will be fourth occurrence of event at the Ranch.
<b>April 25, 2026</b>	Wedding	Private	
<b>May 28 – 30</b>	Feed Your Head Fest	Public	
<b>June 13, 2026</b>	Wedding	Private	
<b>August 1, 2026</b>	Wedding	Private	
<b>September 26, 2026</b>	Wedding	Private	
<b>October 1 – 3</b>	Wise Fest	Public	
<b>December 5-6, 2026</b>	German Christmas Market	Public	

## 2 Organization and management

Wise Farm Productions, LLC

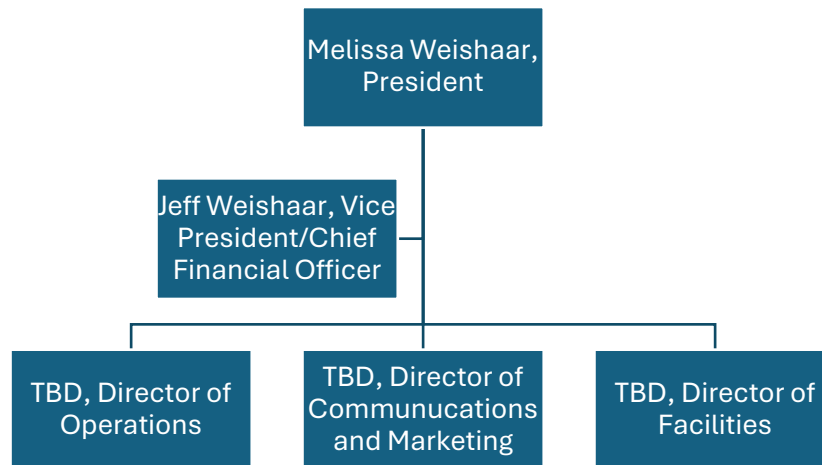
President: Melissa Weishaar

Vice President: Jeff Weishaar

### 2.1 Organization Details

<b>President</b>	Melissa Weishaar
<b>Vice President/Chief Financial Officer</b>	Jeff Weishaar
<b>Director of Operations</b>	TBD
<b>Director of Communications and Marketing</b>	TBD
<b>Director of Facilities</b>	TBD





## 2.2 Key Role Descriptions:

### **President:**

The president holds overall accountability for the performance of the venue, ensuring that all operations run smoothly and efficiently. This role involves overseeing all staff, creating and overseeing marketing strategies and plans for business growth, enacting the mission and vision of the organization, negotiating contracts, and ensuring legal compliance. The president is responsible for leading the team, fostering a positive work environment, and driving the business towards achieving its goals and objectives.

### **Vice President/Chief Financial Officer:**

The Vice President supports the President in all tasks and is responsible for overseeing the financial aspects of the business. This includes managing the budget, forecasting, financial reporting, and financial planning. Additionally, the Vice President oversees payroll, taxes, and day-to-day banking operations. This role is crucial in ensuring the financial health and stability of the organization, allowing the President to focus on broader strategic goals and overall business performance.

### **Director of Operations:**

The Director of Operations reports directly to the President and is responsible for event planning, hiring, and overseeing employees. This role involves assisting the President and Vice President with strategic planning and overseeing the implementation of the strategic plan. Additionally, the Director of Operations is tasked with creating and implementing processes and procedures to ensure the smooth and efficient operation of the venue. This position is crucial for maintaining high standards of service and operational excellence.



**Director of Communications and Marketing:**

The Director of Communications and Marketing is responsible for managing relationships and creating content for press, social media, the website, and other communication channels. This role provides counsel to senior leadership on communication strategies and issues, assists the President with the creation of a brand, and oversees brand management to ensure brand consistency. Additionally, the Director of Communications and Marketing research market trends to keep the organization informed and competitive. This position is crucial for maintaining a positive public image and effectively communicating the organization's mission and vision.

**Director of Facilities:**

The Director of Facilities is responsible for property maintenance and overseeing property improvement projects, including liaising with external contractors. This role involves providing leadership with guidance on improvement projects, setting priorities, and determining the budget needed to complete these projects. The Director of Facilities also oversees safety and security, ensuring that all facilities are compliant with laws and regulations. Additionally, this role includes managing emergency repairs and engaging in long-range planning for renovations, additions, or new buildings. This position is crucial for maintaining the operational integrity and safety of the venue.

Future Roles to be determined and are likely to include hospitality manager, bar manager, and event staff.

### **3 Marketing and sales**

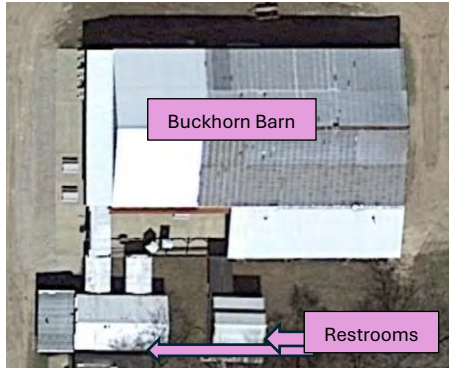
The initial marketing plan will be an aggressive approach to increase visibility and reach to potential customers using social media, email marketing, etc. For this, a marketing agency will be hired to spearhead these efforts and ensure that the correct approaches are taken for each of the cornerstones of the business. Anticipated changes include:

- Website enhancement
- Maximize social media presence for Wise Farm Productions and replacing the current Kettle Moraine Ranch website with a new website for Jennings Holler, this also includes creation of social media pages as deemed appropriate.
- Targeted advertisements in appropriate print and web publications, i.e. popular wedding related websites.
- Enhancement of email marketing.



## 4 Improvement Plans:

### 4.1 Buckhorn Barn



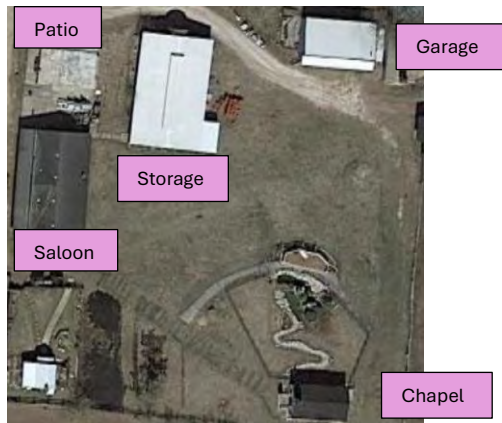
**See appendix 1 for detailed view of entire property and placement of the Buckhorn Barn structure.**

The Buckhorn Barn is the primary event space on the Ranch. Its current uses are for weddings and special events. The Barn contains a stage, two separate event areas, two bar areas and a catering prep area as well as storage. The current structure does not offer permanent bathrooms attached to the structure. Restrooms are in the adjacent structures and consist of port-a-potties and pit toilets. The following actions (including target start dates) are planned for this structure:

- Installation of fit for size septic system (April 2027)
- Inspection of current well and potential installation of new well as determined to be best fit for structure. (August 2026)
- Installation of new, attached restroom facilities with plumbing. (October 2027)
- Installation of running water to the prep area. (July 2025)
- Installation of running water to bar area. (July 2026)
- Insulate and install improved heating system (October 2025)
- Inspect and improve electrical throughout (September 2025)
- Upgrade of temporary restroom structures. (June 2025)
- Repair roof where necessary. (July 2025)



## 4.2 Saloon and Chapel Area



**See appendix 1 for detailed view of entire property and placement of the Saloon and Chapel area.**

Future vision for the Saloon and Chapel area is to improve upon the green space and convert the current storage structure into an open-air pavilion for use during events. The saloon structure is currently fit for purpose however, the current structure does not have restroom facilities attached to the building. There are operational men's and women's restrooms detached and adjacent to the Saloon, however this is not ideal in the long term. To solve this issue an analysis of possible solutions will be conducted with the assistance of a licensed plumber and general contractor to identify the best approach to installing permanent restroom facilities in or attached to the Saloon. Current location of working restrooms is equidistant between the Saloon and the Red Barn. The following actions (including target start dates) are planned to improve the Saloon and Chapel area

- Analysis of potential to add restrooms to the saloon. (May 2026)
- Installation of running water to saloon. (May 2026)
- Replacement of entire saloon roof. (July 2025)
- Convert current storage building into an open air pavilion. (July 2025)
- Make improvements to the patio area if necessary. (July 2025)



### 4.3 Red Barn, Stables, and Workshop Area



**See appendix 1 for detailed view of entire property and placement of the Red Barn, Workshop and Stable structures.**

The Red Barn is currently being utilized as a storage space. The intent for this space is to return it to an event space. The workshop area will remain as-is. The stable adjacent to the workshop will be converted to a market space, with stalls being used by art vendors during special events. The restrooms will be improved and all plumbing inspected in that building. The upper-level apartment will be renovated and may be used as long-term housing for an onsite facilitates manager or for temporary use during special events. The small stable will be either torn down or relocated to a different location. We have yet to determine the best use for this small structure. The following actions (including target start dates) are planned to improve/fortify this area:

- Replacement of entire roof on Red Barn (July 2025)
- Replacement of broken windows in Red Barn (Complete)
- Repairing all areas of water damage in the Red Barn (July 2025)
- Analysis of potential to add restrooms to the Red Barn structure. (May 2026)
- Inspect and improve current heating system in the Red Barn (October 2025)
- Renovate upper-level apartment (July 2025)
- Make improvements to restroom facilities (July 2025)
- Remove fencing around the small animal stable (June 2025)
- Repurpose the large stable to an indoor market facility that can be used by art vendors during special events. (April 2026)



#### 4.4 House and Offices Area



**See appendix 1 for detailed view of entire property and placement of the House and Office structures.**

The house is currently being used as the primary residence of the current Ranch owner. Once current owner moves off the property, demolition of the house will take place. It has been determined that the house is not structurally sound and we intend to place a modular home in that space as a living space for our family, utilizing the existing well, septic and electrical. The house has a well and septic system attached that may be used for Buckhorn Barn improvements, if able. The current Western Front houses the ranch offices and greeting area for guests. Vision is to keep these spaces as a welcome space including a small store for offering venue merchandise and prepackaged goods for guests. The following actions are planned to improve/fortify this area:

- Remodel of house (September 2025)
- General maintenance and enhancement of Office structure (June 2025)



## 4.5 Parcel 2 – Outdoor Spaces



**See appendix 1 for detailed view of entire property and placement of Parcel 2.**

Parcel 2 is currently used for overflow parking, outdoor wedding site and wagon rides for guests. Future vision for this area includes creation of walking trails in the natural area, continued use of outdoor wedding site and overflow parking areas as well as expansion of the use for camping during special events. The following actions are planned to improve/fortify this area:

- Clean up and general landscaping in green areas. (May 2025)
- Creation and maintenance of walking trails through wooded areas (May 2025)
- Maintenance and improvements to outdoor wedding location (May 2025)
- Potential creation of additional outdoor wedding location in wooded area (April 2026)



## 4.6 Pastures



**See appendix 1 for detailed view of entire property and placement of the Pastures.**

The pastures are currently being used for horses. The vision for these spaces is to reclaim the land and create green/natural space for the guests to enjoy. Potential uses for this area include creation of additional outdoor wedding locations and to provide additional areas for special event camping. In addition to camping, we would like to offer primitive, bunk house structures that can be used/rented for overnight stays during special events (no electricity or plumbing). These structures will be created using repurposed materials and structures on the property. Guests would use the existing restroom facilities adjacent to the Buckhorn Barn and Saloon. The following actions (including target start dates) are planned to improve/fortify this area:

- Clean up of pastures (June 2026)
- General landscaping including planting grass, trees, flowers, etc. (July 2026)
- Creation of new outdoor wedding location (July 2026)







Detailed View: Parcel 2





**WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE**  
**STAFF REPORT AND RECOMMENDATION**  
**CONDITIONAL USE AND SITE PLAN/PLAN OF OPERATION**

**DATE:** May 15, 2025

**FILE NO.:** CU125 and SP273

**OWNER:** Cameron and Dawn Knuth  
W303 N5965 Settlers Lane  
Hartland, WI 53029

**APPLICANT:** Mike Merkel  
Ascent, LLC  
W240 N1221 Pewaukee Road  
Waukesha, WI 53188

**TAX KEY NO.:** MRTT 0396.996

**LOCATION:**

The subject property is described as part of the SE ¼ of Section 27, T8N, R18E, Town of Merton. More specifically, the property is located at the Settlers Lane address cited above.

**ZONING CLASSIFICATION:**

R-1 Residential, partial Primary Environmental Corridor Overlay.

**EXISTING LAND USE:**

Single-family residential.

**PROPOSED LAND USE:**

Construction of an in-law unit addition to the principal structure and land altering activity to expose the addition's basement for an attached garage.

**PUBLIC HEARING DATE:** May 7, 2025

**PUBLIC REACTION:**

There was no public reaction at the public hearing.

**TOWN PLAN COMMISSION ACTION:**

At their meeting on May 7, 2025, the Town of Merton Plan Commission unanimously recommended to the Waukesha County Park and Planning Commission approval of the request.

**COMPLIANCE WITH THE COMPREHENSIVE DEVELOPMENT PLAN FOR WAUKESHA COUNTY (WCDP) AND THE TOWN OF MERTON COMPREHENSIVE DEVELOPMENT PLAN:**

The County and Town CDPs designate the subject property in the Low Density (LDR) category (1.4 acres per dwelling unit). Further, approximately the easternmost third of the property is designated as Environmental Corridor on both Plans. The Plans further recommend that slopes in excess of 12% be preserved. As conditioned, the proposed grading activities are in conformity with the Plan recommendations and allow for the redevelopment of the parcel.



**STAFF ANALYSIS:**

This Conditional Use request is composed of a land-altering activities petition and an in-law unit application brought together for efficiency. The approximately 1.3-acre subject property has frontage on Beaver Lake on Settlers Lane off of County Trunk Highway E, just northwest of the Swallow School and Our Savior's Lutheran Church. The dwelling is a two-story structure with a three-car attached-garage atop a hill and a three-car detached garage built into the slope. The hill steeply slopes down to the lake while sloping more gently toward the road. On the lakeside there is a boathouse and multiple patios, including a hot tub atop the slope by the dwelling. The home is substantially screened on both sides and from the road by planted vegetation and the Environmental Corridor.

Pending approval of the two Conditional Uses, the applicant would raze the existing detached garage and build a new garage and in-law unit attached to the primary structure via a 16-foot breezeway (140 square feet). Exhibits A-C depict the proposed improvements and existing and proposed grades. Three Norway Maples, non-Priority Trees, would be felled for the project. The in-law unit will be at-grade with the home and existing attached garage while continuing the present architectural scheme. As presently designed, the in-law unit appears to largely comply with the Shoreland Protection Ordinance, but for slightly exceeding the 1,000 square-foot size limit by 20 square feet. A new attached garage and golf simulator is proposed below the in-law unit, with the golf simulator occupying a little more than half of the space (576 to 500 square feet). The golf simulator and garage would be accessible via an interior staircase outside of the in-law unit and would effectively serve as a "basement" for the in-law unit but would be situated at grade due to being built into the slope.

The current detached garage was carved into the existing slope on the road side. Further excavation of the slope will be necessary to accommodate the proposed addition. A 45-foot retaining wall on the south side of the proposed addition would have a grade separation of 6.5 feet in the southeast corner of the addition, facilitating a new driveway. The retaining wall would taper with the slope down to more-or-less grade level. A smaller 12-foot retaining wall on the northeast corner of the proposed addition would support the hill and driveway closer to the grade level of the in-law unit. The grade separation would be four to five feet. As the grade separations are substantial, particularly on the south retaining wall, it may be advisable to have a fence to deter accidental falls.

**STAFF RECOMMENDATION:**

The Planning and Zoning Division Staff recommends **approval** of the Conditional Use requests subject to the following conditions. The basis for the recommendation is as follows:

- The proposed grading activity does not cause adverse drainage conditions.
- The proposed grading activities do not intrude into the Environmental Corridor.
- The proposed grading maintains the existing topography except for that area already disturbed by the existing detached garage, consistent with plan recommendations.
- The proposed in-law unit, golf simulator, and attached garage will conform to R-1 zoning regulations while the present detached garage is non-conforming to the offset provision of the Shoreland Protection Ordinance.
- The proposed in-law unit will continue the architectural scheme of the primary residence.
- The proposed in-law unit addition is compatible with the surrounding neighborhood and maintains appearance as a single-family residence.
- The proposed in-law unit will be well-screened from neighbors by existing foliage.
- The applicant proposes only one in-law unit, consistent with the Shoreland Protection Ordinance.



## Recommended Conditions:

1. Grading and land altering shall substantially comply with the grading plan depicted in Exhibit B.
2. Subject to documentation being submitted to the Waukesha County Planning and Zoning Division staff that a Stormwater Permit for Erosion Control has been reviewed and approved by the Waukesha County Department of Parks and Land Use -- Land Resources Division, prior to the issuance of a Conditional Use Permit.
3. All land altering and grading activities shall not create adverse drainage conditions or have an adverse impact on adjacent properties. A flow path for drainage must be provided along the south property line, as proposed, to accommodate drainage coming from the east. The plans for the flow path shall be subject to the approval of the Waukesha County Land Resources Division.
4. A Zoning Permit shall be issued prior to the construction of the new dwelling and other aspects of the project.
5. Construction activities shall not extend into the Environmental Corridor.
6. The applicant shall install a split-rail fence or similar obstacle to ensure against accidental falls over the portion of retaining walls that exceed 4' in height
7. A Vegetation Removal Permit shall be applied for prior to any future tree removal in or near the Environmental Corridor, for any vegetation removal within 35 feet of the Ordinary High-Water Mark of Beaver Lake, and Priority Tree removal within 300 feet of Beaver Lake.
8. The site must be restored with grass seed or other vegetation within six months of occupancy of the home being obtained.
9. A Deed Restriction shall be filed in the Waukesha County Register of Deeds office stipulating that the in-law unit is to be occupied by persons related by blood or marriage to the family occupying the principal unit and that the Conditional Use is not transferable without formal approval of the Town of Merton Plan Commission and the Waukesha County Planning and Zoning Division without necessity of a public hearing and that the unit will be used as intended and not rented. The restriction shall also state that an interior door between the living units shall be maintained. A copy of the recorded document shall be presented to the County **prior to the issuance of any permits.**
10. The maximum living area of the in-law unit shall not exceed one thousand (1,000) square feet, shall not contain more than two (2) bedrooms, and one (1) additional parking space shall be provided for the in-law unit on the property. The structure shall appear to be a single-family residence and shall not appear to be a duplex. The proposed addition's size for the in-law unit portion shall be reduced to a maximum of 1,000 square feet to bring it into conformity with the Shoreland Protection Ordinance.
11. Architecture of the residence shall be compatible with the adjacent residential neighborhood and shall appear to be a single-family residence. All other zoning district requirements for the principal living unit shall be complied with. A common entrance to the Residence and In-law Unit shall be designed into the Structure so that a separate front entrance, off of the common entrance, is available and the Structure does not appear to be a duplex.



12. The Conditional Use approval is limited to the petitioner for the property located at W303 N5965 Settlers Lane, Hartland, Wisconsin, to construct a one-story in-law unit with plans, documents, and specifications presented to the Waukesha County Planning and Zoning Division on February 11, 2025. The use is generally described as an in-law unit.
13. Subject to the applicant allowing the subject property to be available for inspection by the Town of Merton and Waukesha County officials at any reasonable time and upon reasonable notice.
14. If retaining walls exceed 4 feet in height, a Licensed Landscape Architect or Professional Engineer shall certify that the walls will be constructed in a manner to withstand the pressure from the soil, groundwater, and surface water runoff.
15. The Town Building Inspector shall inspect the entire premises to determine compliance with all applicable building codes and any compliance violations shall be corrected to the Building Inspector's satisfaction, **prior to the issuance of an Occupancy Permit.**
16. The Conditional Use Permit (CUP) shall be issued within one year from the date of final approval or the approval of this CUP shall be null and void, unless an extension is granted by the Waukesha County Planning and Zoning Division Staff for just cause.
17. Should the permitted Conditional Use be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the petitioner be delinquent in payment of any monies due and owing to the municipality or County, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area or for similar cause based upon consideration of public health, safety or welfare, the Conditional Use may be terminated by action of the Town Plan Commission and the Waukesha County Park and Planning Commission, pursuant to the enforcement provisions of this Conditional Use Permit, and all applicable ordinances.
18. Any change, addition, modification, alteration and/or amendment of any aspect of this Conditional Use, including but not limited to an addition, modification, alteration, and/or amendment to the use, premises (including but not limited to any change to the boundary limits of the subject property), structures, lands or owners, other than as specifically authorized herein, shall require a new permit and all procedures in place at the time must be followed.

Respectfully submitted,

*Ken Smith*

Ken Smith  
Senior Land Use Specialist

Attachments: Exhibit A – Survey/Site Plan  
Exhibit B – Grading Plan  
Exhibit C – Proposed Building Elevations



# EXHIBIT A

## Survey/Site Plan

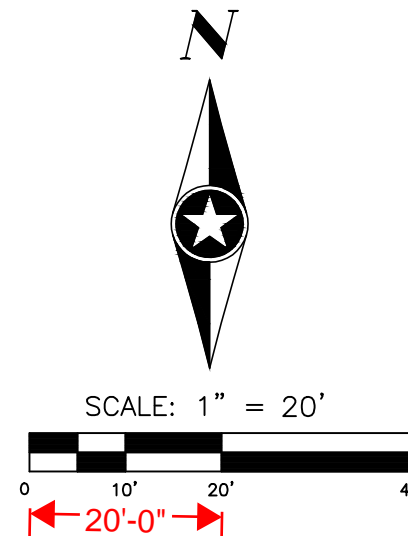
### PLAT OF SURVEY

BEING A PART OF THE NW. 1/4 OF THE SE. 1/4 OF  
SECTION 27, T.08N., R.18E.,  
TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN.

SURVEYOR:  
KEITH A. KINDRED, RLS S-2082  
SEH  
501 MAPLE AVE  
DELAFIELD, WI 53018  
(414) 949-8919  
KKINDRED@SEHINC.COM

SURVEY FOR:  
SIEPMANN REALTY CORPORATION  
JIM SIEPMANN  
W240N1221 PEWAUKEE ROAD  
WAUKESHA, WIS. 53188  
PROPERTY ADDRESS  
W303N5965 SETTLERS LANE  
HARTLAND, WI. 53029

Received by Waukesha County  
Dept. of Parks & Land Use  
02/11/2025

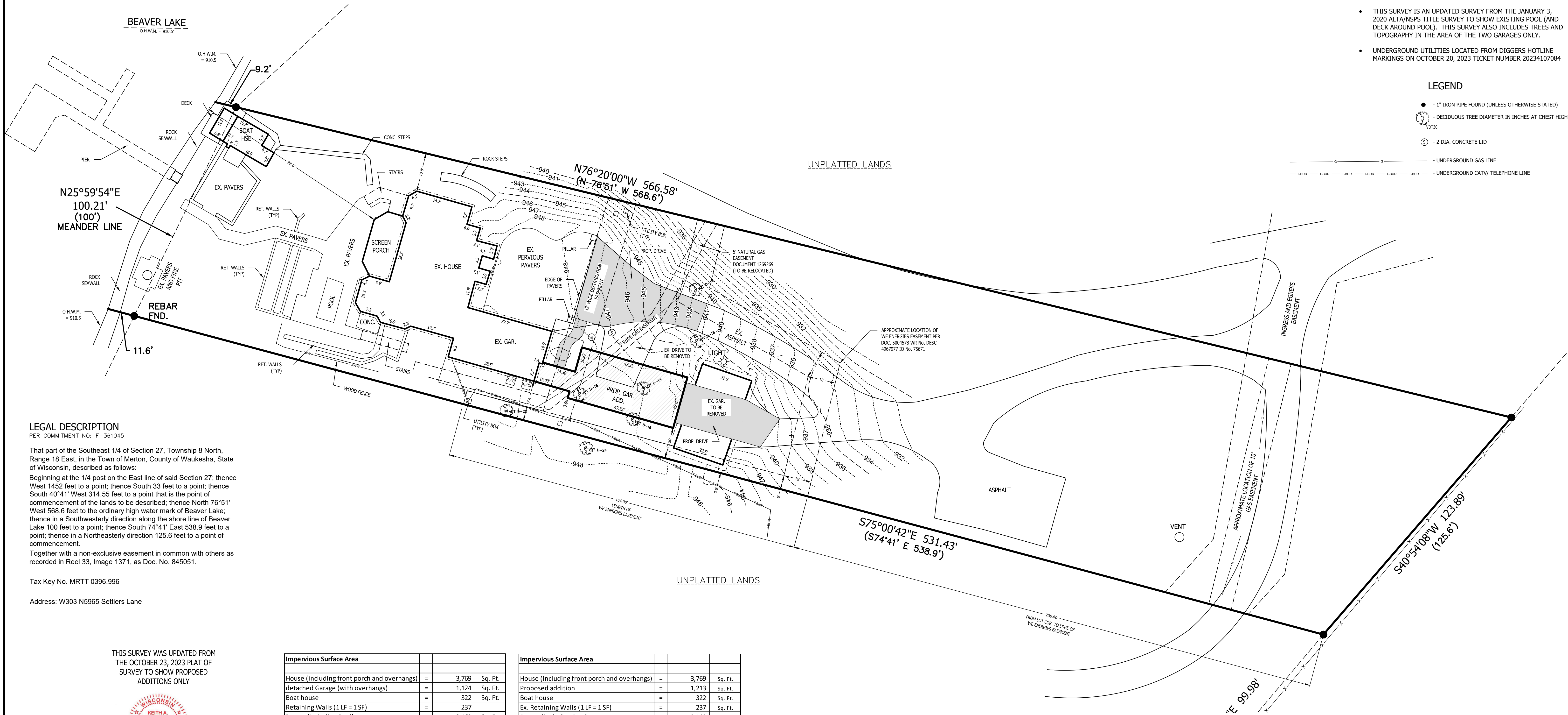


#### NOTES:

- THIS SURVEY IS AN UPDATED SURVEY FROM THE JANUARY 3, 2020 ALTA/NSPS TITLE SURVEY TO SHOW EXISTING POOL (AND DECK AROUND POOL). THIS SURVEY ALSO INCLUDES TREES AND TOPOGRAPHY IN THE AREA OF THE TWO GARAGES ONLY.
- UNDERGROUND UTILITIES LOCATED FROM DIGGERS HOTLINE MARKINGS ON OCTOBER 20, 2023 TICKET NUMBER 20234107084

#### LEGEND

- - 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- - DECIDUOUS TREE DIAMETER IN INCHES AT CHEST HIGH  
VOT30
- ⊙ - 2 DIA. CONCRETE LID
- - UNDERGROUND GAS LINE
- T-BUR — T-BUR — T-BUR — T-BUR — T-BUR — T-BUR — - UNDERGROUND CATV/ TELEPHONE LINE



#### LEGAL DESCRIPTION

PER COMMITMENT NO: F-361045

That part of the Southeast 1/4 of Section 27, Township 8 North, Range 18 East, in the Town of Merton, County of Waukesha, State of Wisconsin, described as follows:

Beginning at the 1/4 post on the East line of said Section 27; thence West 1452 feet to a point; thence South 33 feet to a point; thence South 40°41' West 314.55 feet to a point that is the point of commencement of the lands to be described; thence North 76°51' West 568.6 feet to the ordinary high water mark of Beaver Lake; thence in a Southwesterly direction along the shore line of Beaver Lake 100 feet to a point; thence South 74°41' East 538.9 feet to a point; thence in a Northeasterly direction 125.6 feet to a point of commencement.

Together with a non-exclusive easement in common with others as recorded in Reel 33, Image 1371, as Doc. No. 845051.

Tax Key No. MRTT 0396.996

Address: W303 N5965 Settlers Lane

THIS SURVEY WAS UPDATED FROM  
THE OCTOBER 23, 2023 PLAT OF  
SURVEY TO SHOW PROPOSED  
ADDITIONS ONLY



JANUARY 30, 2025

#### SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THIS PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT BASEMENTS, ROADWAYS, AND VISIBLE ENCROACHMENTS, IF ANY.

THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

Impervious Surface Area			
House (including front porch and overhangs)	=	3,769	Sq. Ft.
detached Garage (with overhangs)	=	1,124	Sq. Ft.
Boat house	=	322	Sq. Ft.
Retaining Walls (1 LF = 1 SF)	=	237	
Pavers (including Pool)	=	2,162	Sq. Ft.
Asphalt drive	=	9,294	Sq. Ft.
Concrete areas	=	331	
<b>Total Impervious Surface Area</b>	=	17,239	Sq. Ft.
<b>Lot Size</b>	=	58,726	Sq. Ft.
<b>Total % of Impervious Surface</b>	=	29.35%	

Impervious Surface Area			
House (including front porch and overhangs)	=	3,769	Sq. Ft.
Proposed addition	=	1,213	Sq. Ft.
Boat house	=	322	Sq. Ft.
Ex. Retaining Walls (1 LF = 1 SF)	=	237	Sq. Ft.
Pavers (including Pool)	=	2,162	Sq. Ft.
Asphalt drive - remaining	=	7,490	Sq. Ft.
Asphalt drive - proposed	=	1,870	Sq. Ft.
Proposed sidewalk	=	111	Sq. Ft.
Concrete areas	=	331	Sq. Ft.
<b>Total Impervious Surface Area</b>	=	17,505	Sq. Ft.
<b>Lot Size</b>	=	58,726	Sq. Ft.
<b>Total % of Impervious Surface</b>	=	29.81%	



PHONE: 262.646.6855  
501 MAPLE AVENUE  
DELAFIELD, WI 53018  
www.sehinc.com

PATH: X:\K\K\KNUCA\183172\9-SURVEY\92-CAD\10-C3D\KNUCA 183172- GARAGE ADD.DWG

#### REVISION DATE

10-26-2023

#### COMMENTS

REVISED IMPERVIOUS SURFACE AREA TO REMOVE PERVIOUS PAVERS AT DRIVEWAY.

#### PLAT OF SURVEY

BEING A PART OF THE NW. 1/4 OF THE SE. 1/4 OF  
SECTION 27, T.08N., R.18E.,  
TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN.

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of 1

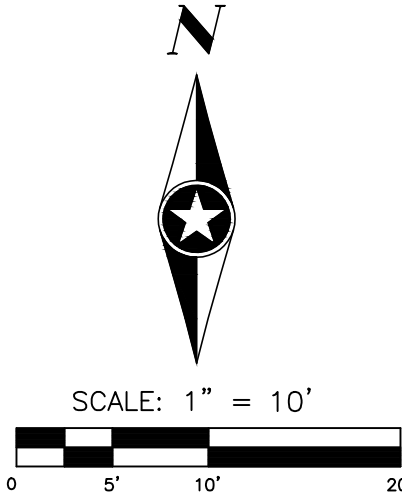


GRADING AND EROSION CONTROL PLAN

BEING A PART OF THE NW. 1/4 OF THE SE. 1/4 OF  
SECTION 27, T.08N., R.18E.,  
TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN.

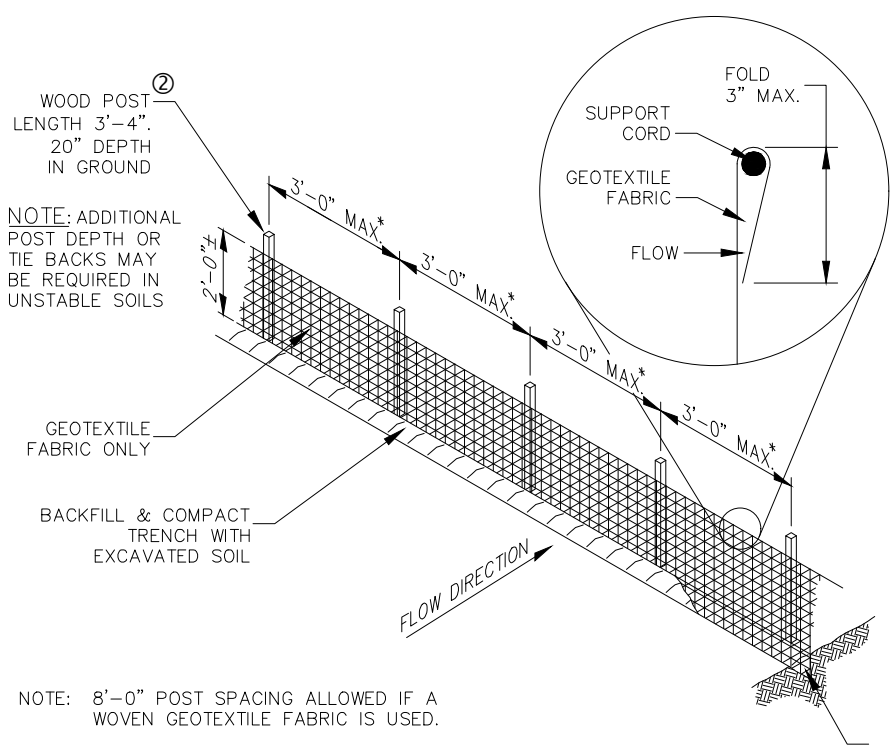
Exhibit B

Received by Waukesha County  
Dept. of Parks & Land Use  
03/27/2025



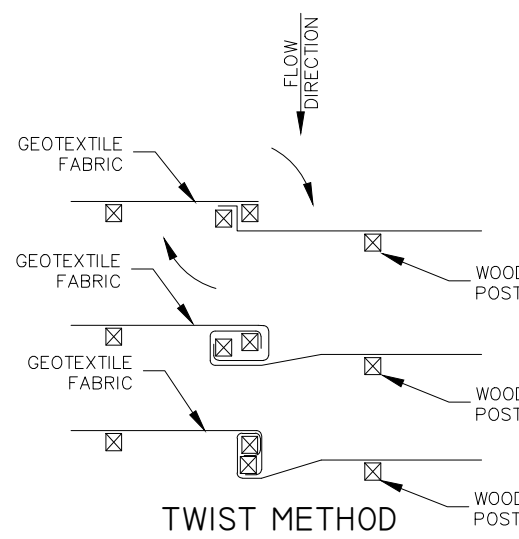
GENERAL NOTES

- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POST SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS:  
A) TWIST METHOD -- OVERLAP THE END POST AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, OR  
B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.

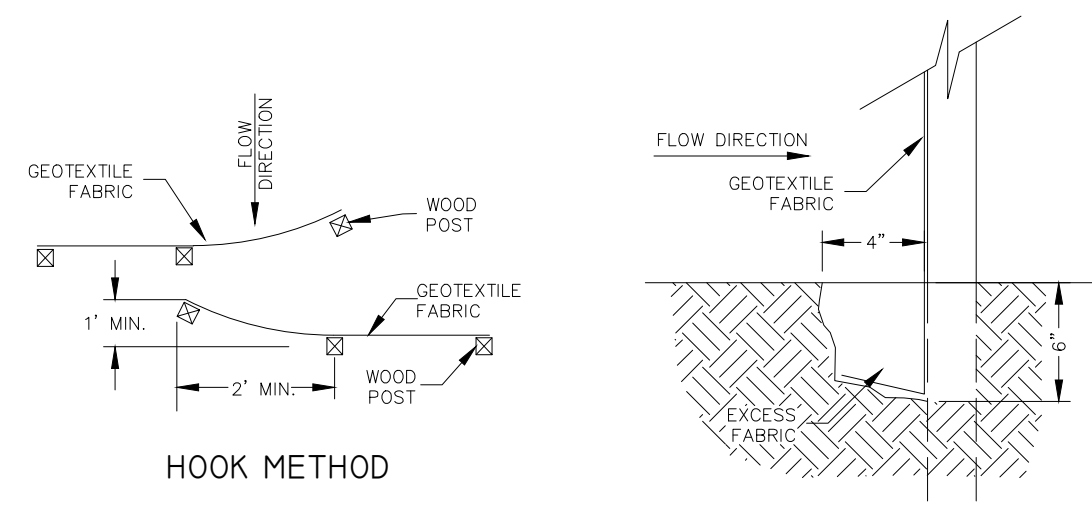


SILT FENCE

SILT FENCE TO BE INSTALLED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD 1056 (THIS DRAWING BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION DETAIL DRAWING 8 E 9-6)



HOOK METHOD



JOINING TWO LENGTHS OF SILT FENCE

TRENCH DETAIL

EROSION CONTROL:

- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE "WISCONSIN STORM WATER CONSTRUCTION AND POST-CONSTRUCTION TECHNICAL STANDARDS".
- SEDIMENT CONTROL MEASURES MAY NEED TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
- PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. SEDIMENT CONTROL MEASURES ARE TO BE IN WORKING CONDITION AT THE END OF EACH DAY.
- INSPECT SEDIMENT CONTROL STRUCTURES FOR INTEGRITY. ONCE PER WEEK OR AFTER ANY SIGNIFICANT RAINFALL OF 1/2" OR MORE. **CORRECT ANY DAMAGED STRUCTURES IMMEDIATELY.**
- DO NOT REMOVE ANY SEDIMENT CONTROL MEASURES UNTIL THE AREAS SERVED HAVE 70% OR MORE ESTABLISHED VEGETATIVE COVER.
- ALL TRACKED SOIL ON ADJACENT STREETS FROM THIS PROJECT MUST BE CLEANED ON A DAILY BASIS, MINIMUM.
- ANY NECESSARY DE-WATERING MUST BE DONE PER DNR TECHNICAL STANDARDS. THE CONTRACTOR SHALL HAVE AN APPROPRIATELY SIZED GEOMEMBRANE DEWATERING BAG ON-SITE AT ALL TIMES. ALL DEWATERING MUST BE PUMPED TO THE BAG. THE BAG SHALL BE PLACED IN A LOCATION THAT ALLOWS THE TREATED WATER TO FLOW OVER VEGETATION AND NOT CREATE FURTHER EROSION AND SEDIMENT DEPOSITION.

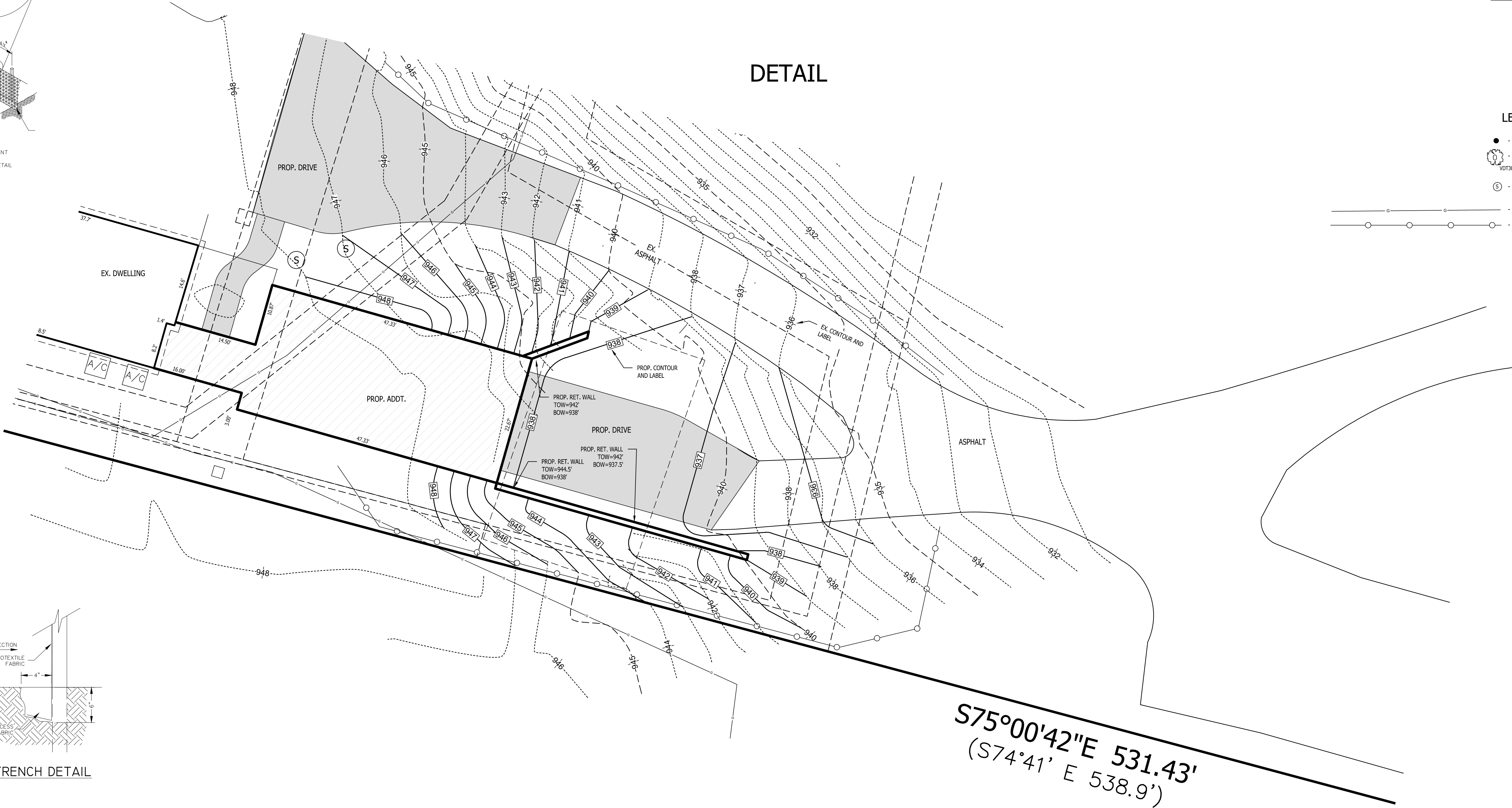
SURVEYOR:  
KEITH A. KINDRED, RLS S-2082  
SEH  
501 MAPLE AVE  
DELAFIELD, WI 53018  
(414) 949-8819  
KKINDRED@SEHINC.COM

SURVEY FOR:  
SIEPMANN REALTY CORPORATION  
JIM SIEPMANN  
W240N1221 PEWAUKEE ROAD  
WAUKESHA, WIS. 53188  
PROPERTY ADDRESS  
W303N5965 SETTLERS LANE  
HARTLAND, WI. 53029

DETAIL

LEGEND

- - 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- - DECIDUOUS TREE DIAMETER IN INCHES AT CHEST HIGH  
VOT30
- ⊙ - 2 DIA. CONCRETE LID
- — — — — UNDERGROUND GAS LINE
- — — — — — SILT FENCE



MARCH 25, 2025

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS, AND VISIBLE ENCROACHMENTS, IF ANY.

THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

NOTE:  CAUTION

THE UTILITIES SHOWN IN THIS PLAT ARE AS OBSERVED IN THE FIELD. NO UNDERGROUND UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.



PHONE: 262.646.6855  
501 MAPLE AVENUE  
DELAFIELD, WI 53018  
www.sehinc.com

PATH: X:\K\K\KNUCA\183172\9--SURVEY\92--CAD\10--C3D\KNUCA 183172-- GARAGE ADD--GRADING.DWG

REVISION DATE

COMMENTS

GRADING AND EROSION CONTROL PLAN

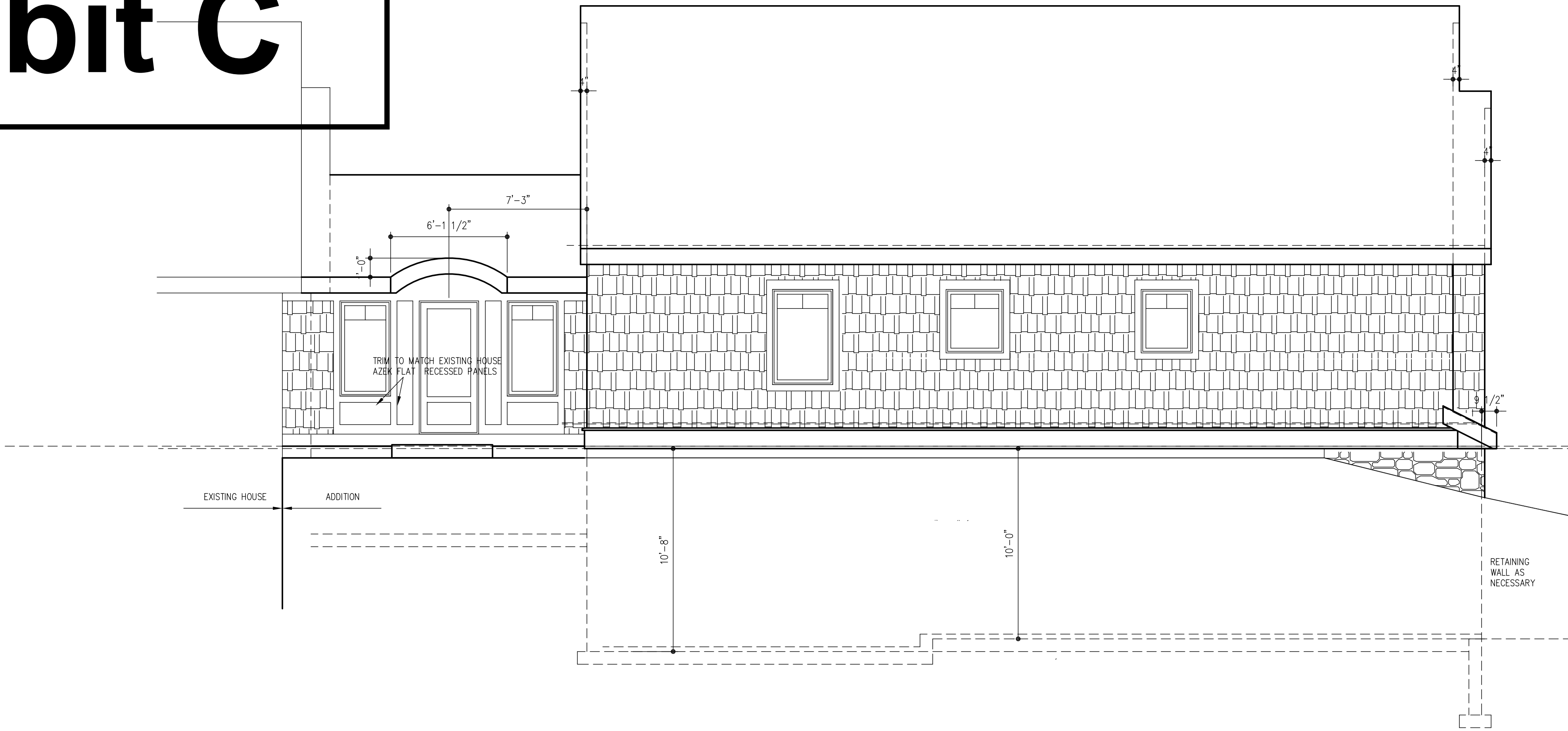
BEING A PART OF THE NW. 1/4 OF THE SE. 1/4 OF  
SECTION 27, T.08N., R.18E.,  
TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN.

2

of 2



Exhibit C



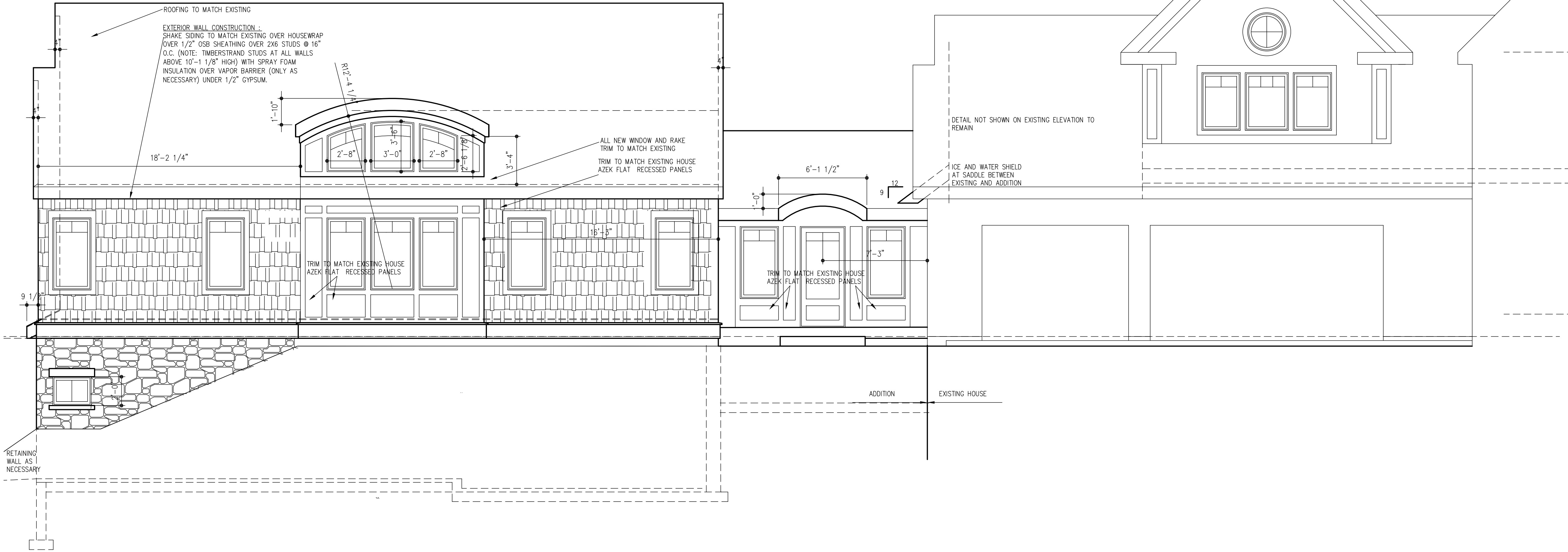
SOUTH ADDITION ELEVATION

NOTE: FOR TYPICAL ELEVATION NOTES SEE NORTH ELEVATION 1/4" = 1'-0"



EAST ADDITION ELEVATION

NOTE: FOR TYPICAL ELEVATION NOTES SEE NORTH ELEVATION 1/4" = 1'-0"



NORTH ADDITION ELEVATION

NOTE: FOR TYPICAL ELEVATION NOTES SEE NORTH ELEVATION 1/4" = 1'-0"

Received by Waukesha County  
Dept. of Parks & Land Use  
02/11/2025

DESIGNSGALORE, LLC  
RESIDENTIAL DESIGN  
Gloria Lehrer, DESIGNER  
C: 262-490-2266 | glorialehrer@gmail.com



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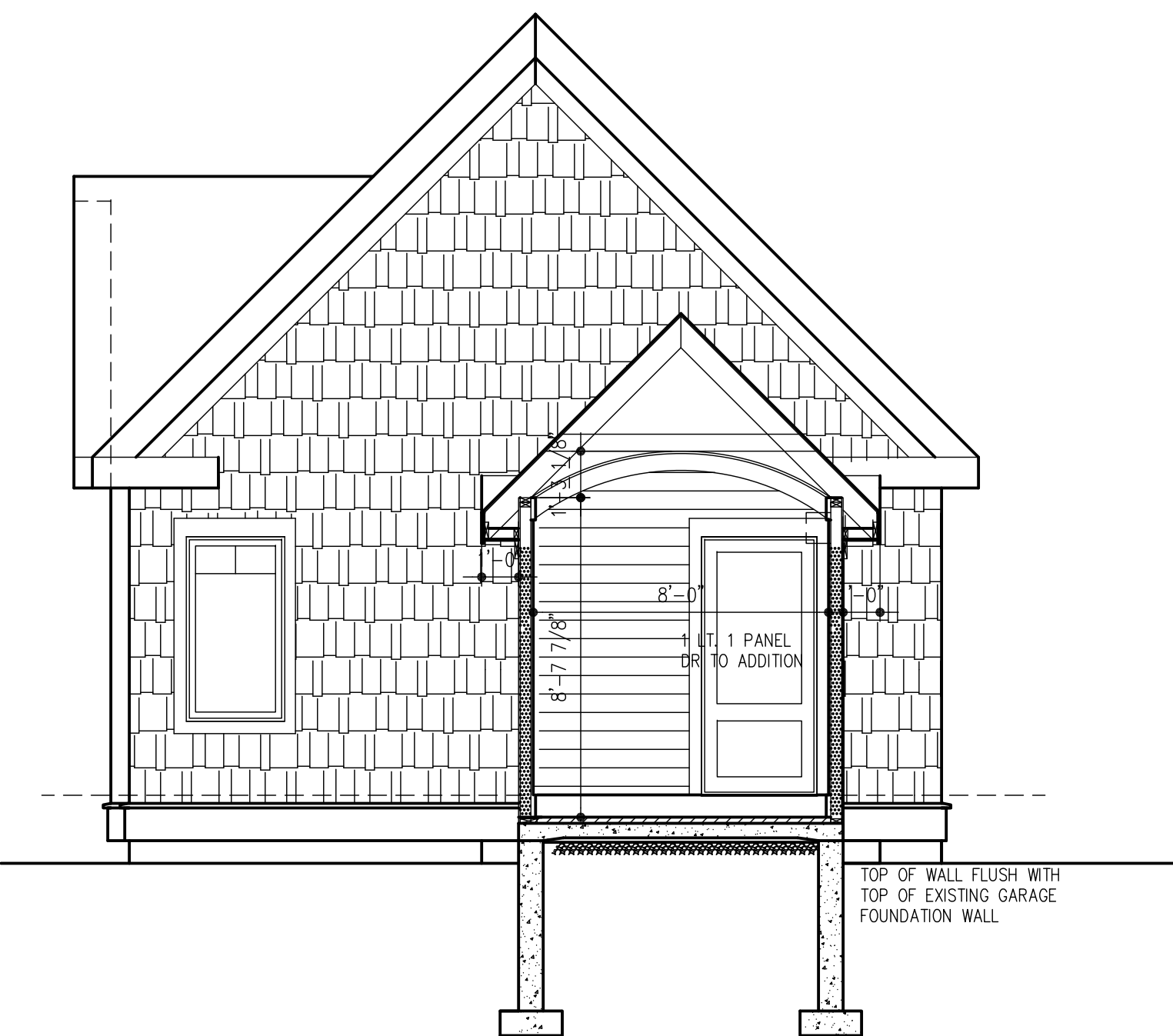
KNUTH GARAGE ADDITION  
W303N5965 SETTLERS LN, HARTLAND, WI 53029

ELEVATION  
SCALE: 1/4"=1'-0" UNO

KNUTH21  
PROJECT NUMBER  
1/2/26, 2/4  
DATE  
00.00.00

GAL  
DESIGN BY

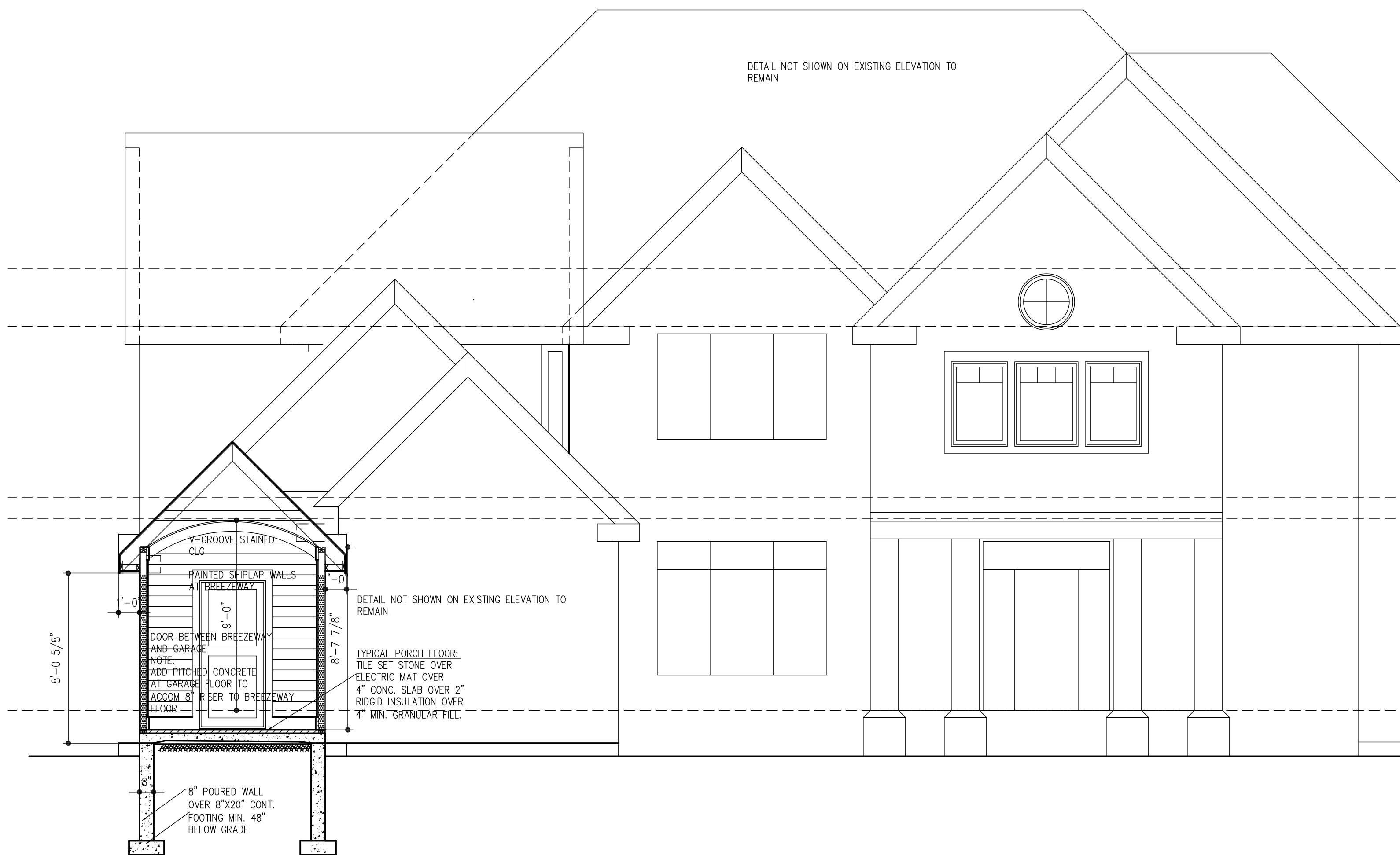




WEST ADDITION ELEVATION

NOTE: FOR TYPICAL ELEVATION NOTES SEE NORTH ELEVATION

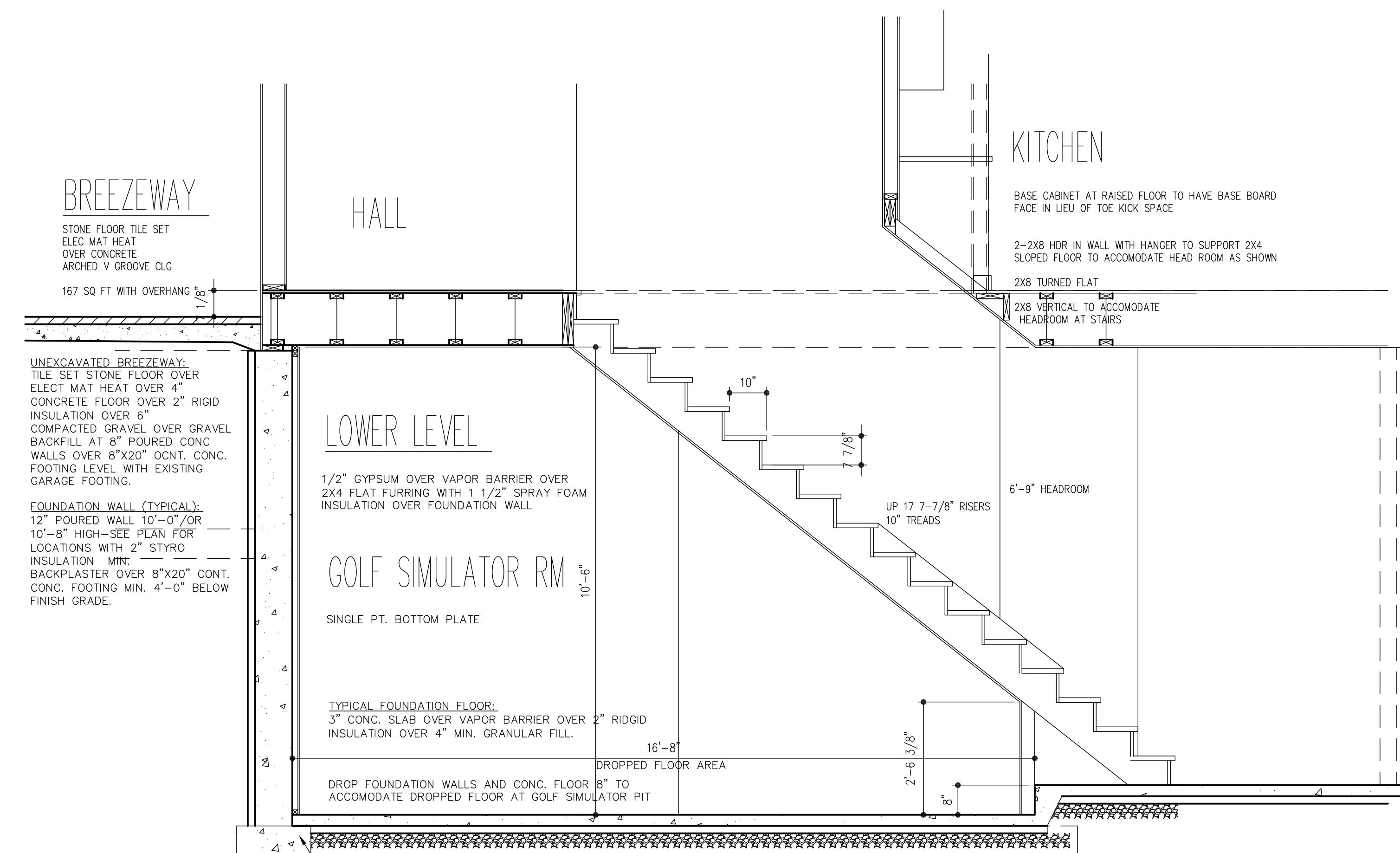
1/4" = 1'-0"



EXIST. GARAGE ELEVATION/ BREEZEWAY SECTION

NOTE: FOR TYPICAL ELEVATION NOTES SEE NORTH ELEVATION

1/4" = 1'-0"

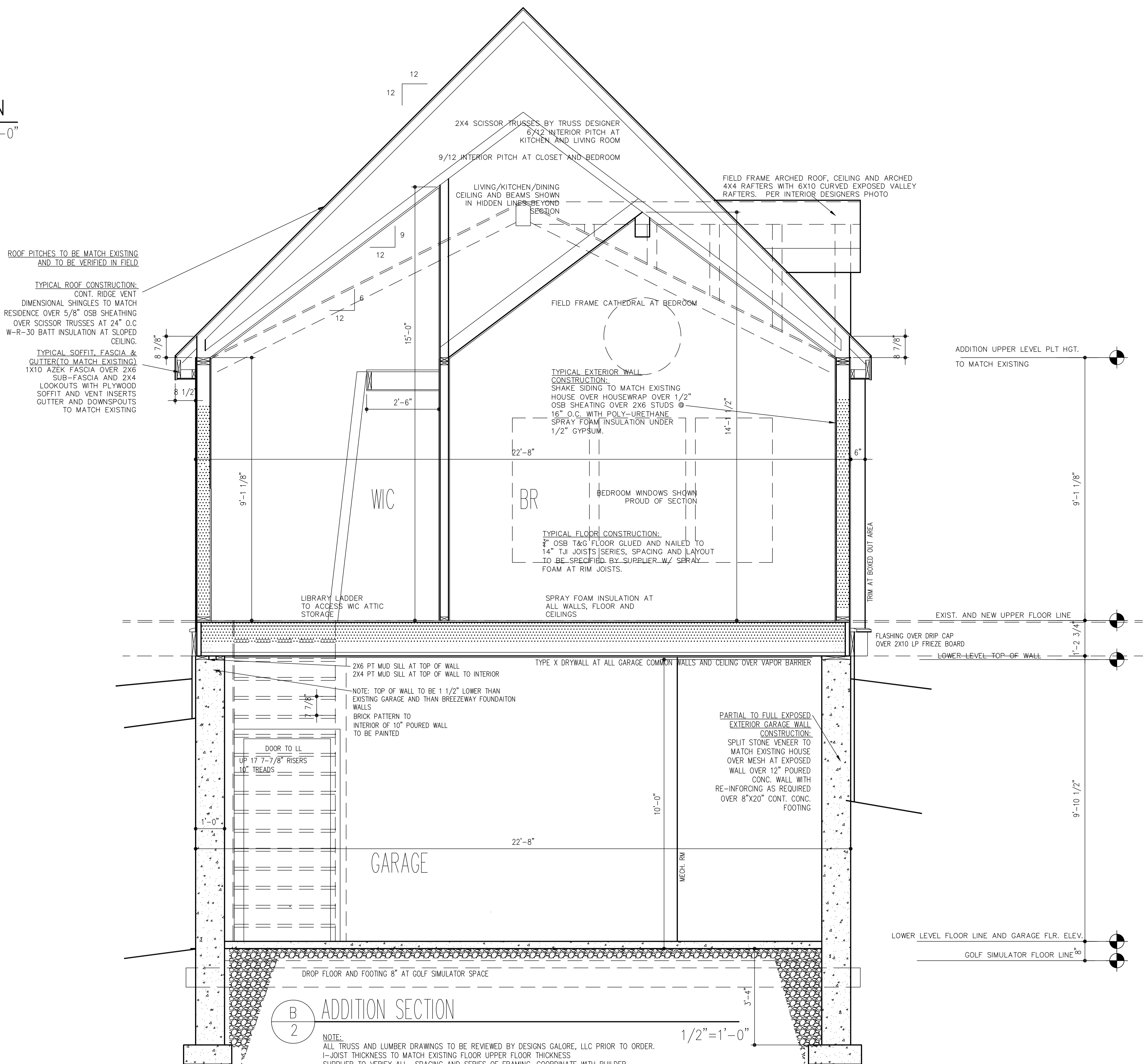


STAIRCASE SECTION

NOTE:  
ALL TRUSS AND LUMBER DRAWINGS TO BE REVIEWED BY DESIGNS GALORE, LLC PRIOR TO ORDER.  
I-JOIST THICKNESS TO MATCH EXISTING FLOOR UPPER FLOOR THICKNESS.  
SUPPLIER TO VERIFY ALL SPACING AND SERIES OF FRAMING. COORDINATE WITH BUILDER  
AND DESIGNER DURING BIDDING IF DEEPER JOISTS REQUIRED.  
ALL I-JOIST DRAWINGS TO BE REVIEWED BY DESIGNS GALORE, LLC PRIOR TO ORDER.

NOTE:  
CLOSED CELL POLY-URETHANE SPRAY FOAM INSULATION AT ADDITION FLOOR WALLS AND CEILING

1/2" = 1'-0"



ADDITION SECTION

NOTE:  
ALL TRUSS AND LUMBER DRAWINGS TO BE REVIEWED BY DESIGNS GALORE, LLC PRIOR TO ORDER.  
I-JOIST THICKNESS TO MATCH EXISTING FLOOR UPPER FLOOR THICKNESS.  
SUPPLIER TO VERIFY ALL SPACING AND SERIES OF FRAMING. COORDINATE WITH BUILDER  
AND DESIGNER DURING BIDDING IF DEEPER JOISTS REQUIRED.  
ALL I-JOIST DRAWINGS TO BE REVIEWED BY DESIGNS GALORE, LLC PRIOR TO ORDER.

NOTE:  
CLOSED CELL POLY-URETHANE SPRAY FOAM INSULATION AT ADDITION FLOOR WALLS AND CEILING

1/2" = 1'-0"

Received by Waukesha County  
Dept. of Parks & Land Use  
02/11/2025



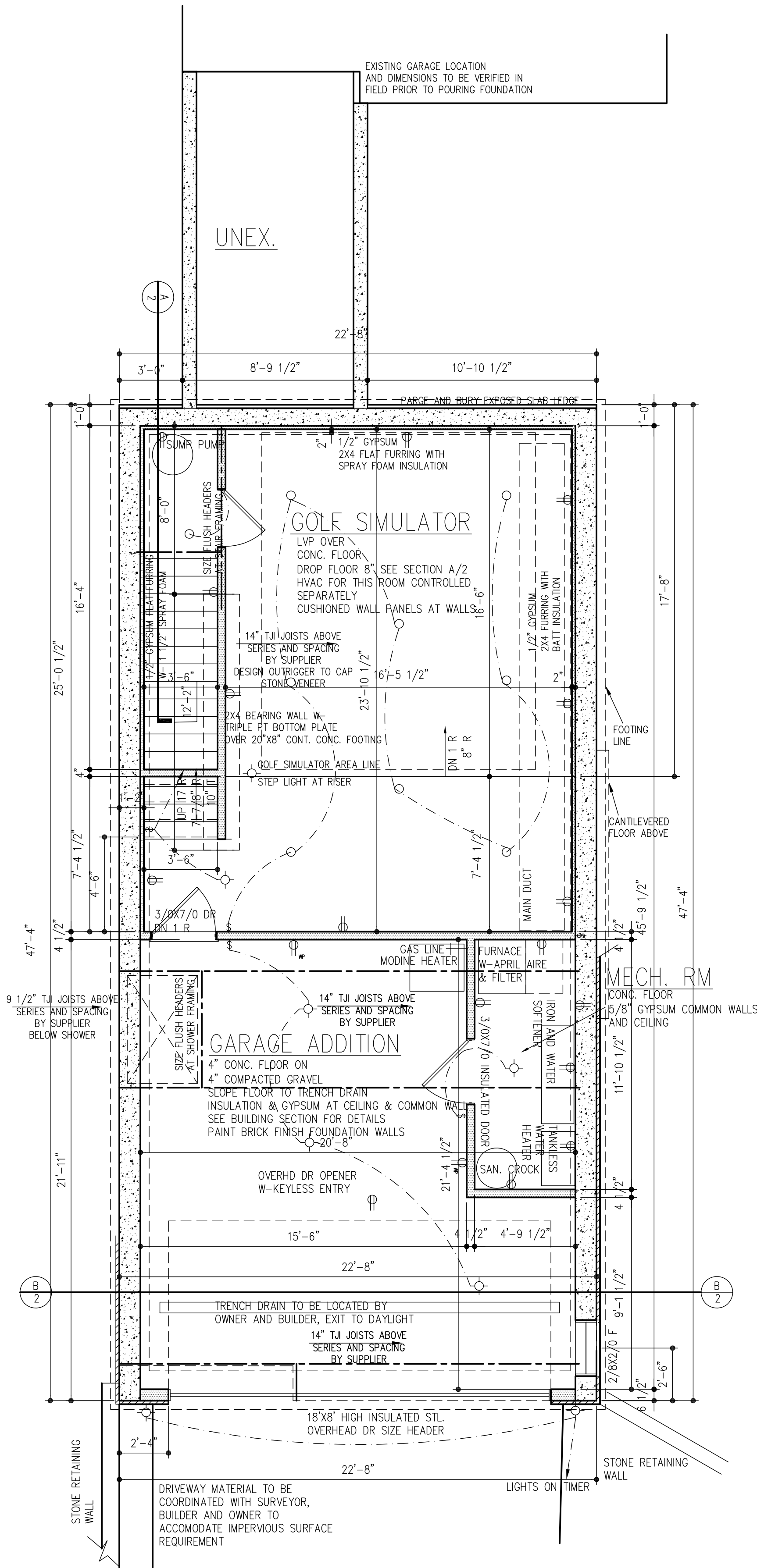
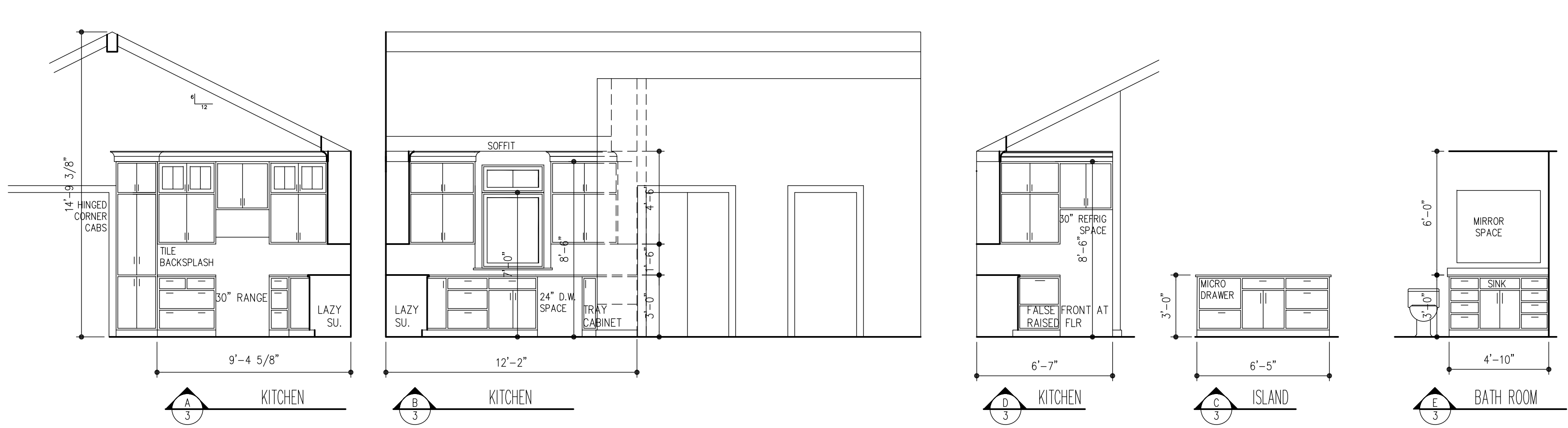
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CABINET DETAILS

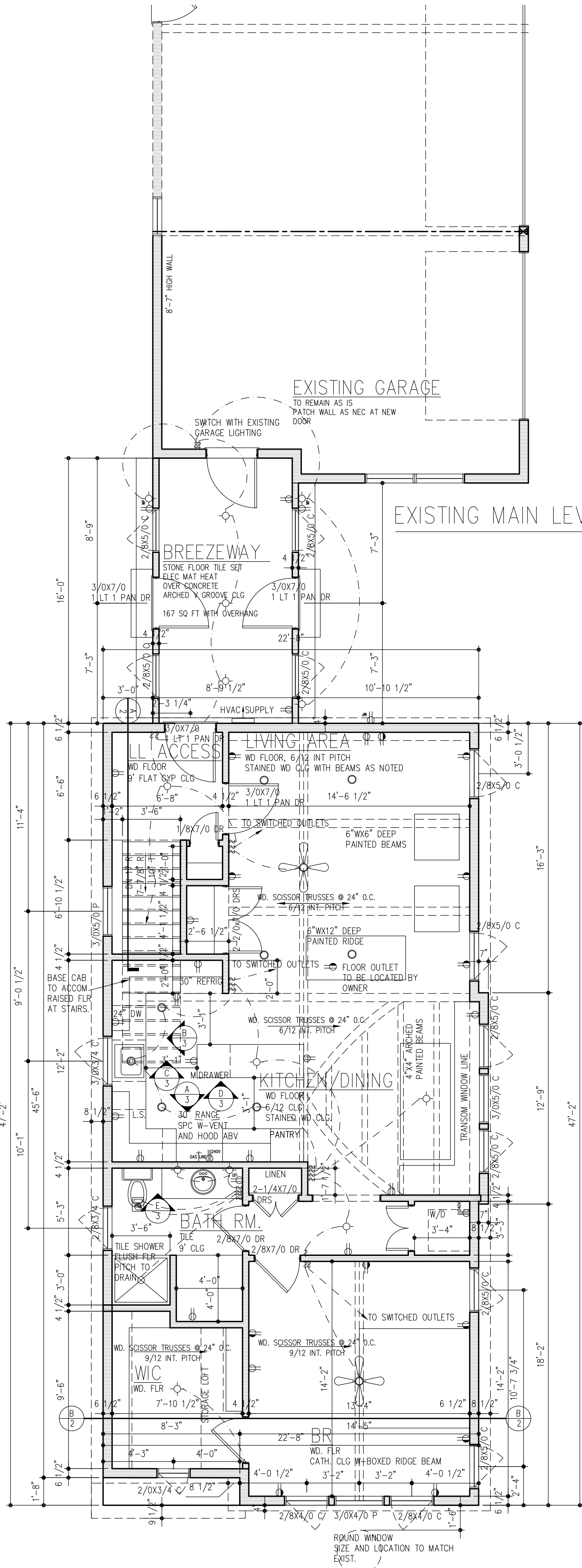
SCALE: 1/4"=1'-0"

NOTES: ALL CABINETS, APPLIANCE SELECTIONS, MOLDING PROFILES AND SIZES, TO BE COORDINATED WITH ARCHITECT, INTERIOR DESIGNER AND BUILDER



LOWER LEVEL ADDITION PLAN

1/4"=1'-0"



UPPER LEVEL ADDITION PLAN

1/4"=1'-0"

NOTE: DESIGNS GALORE, LLC TO BE NOTIFIED FOR ADDITIONAL CLARIFICATION, DETAILS OR DIMENSIONS PRIOR TO CONSTRUCTION.

DESIGNS GALORE, LLC TO BE ALLOWED TO REVIEW FLOOR JOIST LAYOUT, TRUSS PROFILES, WINDOW ORDER, AND CABINET LAYOUT, PRIOR TO ORDER APPROVAL.

ALL EXISTING DIMENSIONS, ROOF PITCHES, OVERHANG DIMENSION AND CONSTRUCTION TO BE FIELD VERIFIED DURING DEMOLITION.

EACH CONTRACTOR SHALL CAREFULLY EXAMINE DRAWINGS AND SITE DURING BIDDING. ANY DISCREPANCIES FOUND IN THE DRAWINGS OR EXISTING CONDITIONS ARE TO BE REPORTED TO DESIGNS GALORE, LLC IMMEDIATELY. ALL DISCREPANCIES WILL BE CLARIFIED BY WRITTEN ADDENDUM.

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES AND GOVERNING AUTHORITIES AT TIME OF CONSTRUCTION. NOTIFY DESIGNS GALORE, LLC IF CODE UPDATES ARE NECESSARY TO THE DRAWINGS 10 BUSINESS DAYS PRIOR TO CONSTRUCTION.

DESIGNS GALORE, LLC TO BE NOTIFIED IF OWNER'S SELECTIONS REQUIRE PLAN MODIFICATION. MODIFICATIONS WILL BE COMPLETED WITHIN 10 BUSINESS DAYS OF NOTIFICATION.



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